

ST. ANTHONY COPTIC ORTHODOX CHURCH PLANNED DEVELOPMENT REZONING

1185 N. WYMORE ROAD
PARCEL ID: 26-21-29-0000-00-024
ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION:

THE NORTH 1/2 OF NORTHEAST 1/4 OF NORTHEAST 1/4 OF NORTHWEST 1/4 OF SECTION 26, TOWNSHIP 21 SOUTH, RANGE 29 EAST, ORANGE COUNTY, FLORIDA, LESS THAT PART LYING WESTERLY OF THE EAST LINE OF INTERSTATE 4, ALSO LESS THAT PART CONVEYED TO ORANGE COUNTY BY DEED RECORDED IN DEED BOOK 564, PAGE 467, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ALSO LESS THAT CERTAIN PORTION LYING IN THE NORTHEAST CORNER FOR ROAD RIGHT-OF-WAY, PER ROAD PLAT BOOK 1, PAGES 9 THROUGH 13, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

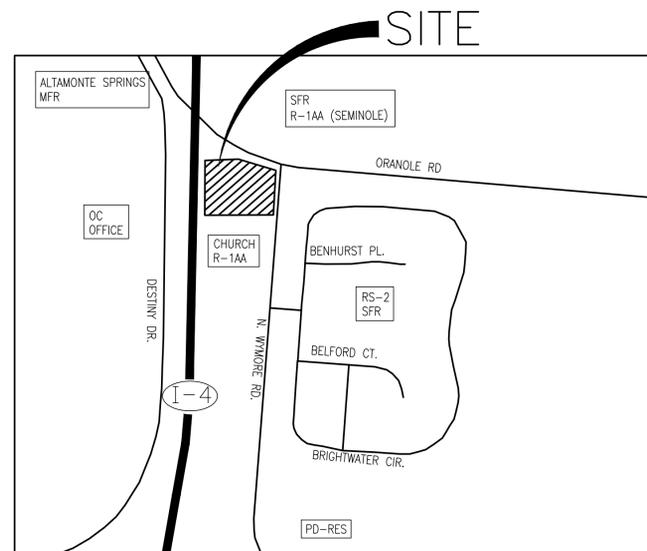
LESS:

A PARCEL OF LAND RECORDED IN OFFICIAL RECORDS BOOK 08024, PAGE 1196, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

CONTAINS: 104,099.61 SQUARE FEET OR 2.39 ACRES MORE OR LESS.

INDEX OF DRAWINGS

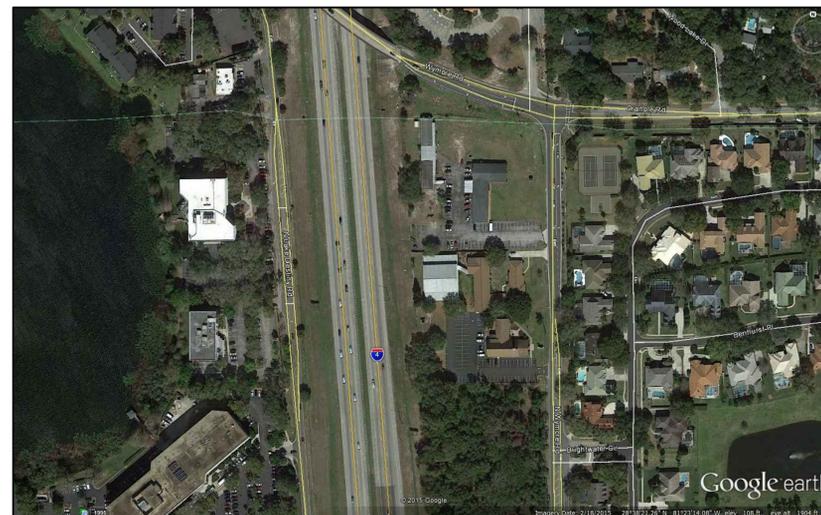
CS1	- COVER SHEET
DP1	- EXISTING SITE CONDITIONS
DP2	- PRELIMINARY SITE DEVELOPMENT PLAN
DP3	- PRELIMINARY DRAINAGE/UTILITY PLAN
LD-1	- CONCEPTUAL LANDSCAPE PLAN
A301-A303	- EXTERIOR ELEVATIONS



VICINITY MAP
SCALE: 1" = 500'

WAIVER REQUESTS

REQUESTED ITEM	CODE SECTION	EXPLANATION
1. BUILDING HEIGHT	ZONING SPECIFICATIONS	CURRENT CODE ALLOWS 35' MAXIMUM BUILDING HEIGHT. THIS REQUEST IS TO ALLOW CERTAIN FEATURES OF CHURCH BUILDING INCLUDING DOMES, STEEPLES, ETC. TO EXCEED THE 35' MAXIMUM HEIGHT AND UP TO 55 FEET. HIGH VERTICAL BUILDING ELEMENTS SUCH AS DOMES, STEEPLES ARE TYPICAL IN CHURCH ARCHITECTURAL DESIGN.
2. BUFFER YARD	SEC. 8-13	NORMALLY 10' BUFFER YARD WOULD BE REQUIRED. THIS WAIVER REQUEST IS TO ALLOW 0' BUFFER YARD ALONG THE NORTH END OF PARKING LOT AREA TO ALLOW FOR ACCESS TO A PARCEL OF LAND OWNED BY THE CHURCH IN SEMINOLE COUNTY. THE CHURCH OWNS A VACANT LAND TO THE NORTH OF THIS PD THAT HAS NO OTHER PHYSICAL ACCESS TO USE THIS VACANT LAND.



AERIAL MAP
SCALE: NTS

DEVELOPMENT INFORMATION:

OWNER:

ST. ANTHONY COPTIC ORTHODOX CHURCH
1185 N. WYMORE RD.
MAITLAND, FL 32751
PH. 407-422-0944
EMAIL: FR.DAOUTD@GMAIL.COM

CIVIL ENGINEER/ PLANNER:

SK CONSORTIUM, INC.
1053 N. ORLANDO AVE. SUITE 3
MAITLAND, FLORIDA 32751
PH. 407-629-4288

SURVEYOR:

ACCURIGHT SURVEYS OF ORLANDO, INC.
2012 E. ROBINSON ST.
ORLANDO, FL. 32803
PH. 407-894-6314

LANDSCAPE ARCHITECT

MAGUED BARSOUM
612 N. SEMORAN BLVD #4
WINTER PARK, FL. 32765

PROJECT ARCHITECT

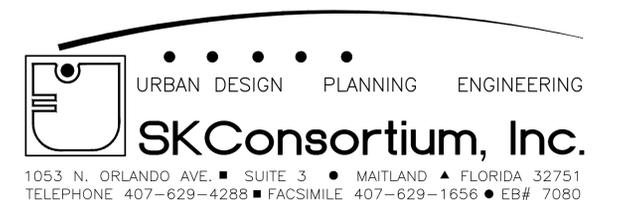
SCOTT & CORMIA ARCHITECTURE
429 S. KELLER RD., SUITE 200
ORLANDO, FL. 32810
PH. 407-660-2766X8451

TRANSPORTATION CONSULTANT

TRAFFIC & MOBILITY CONSULTANTS, LLC
1507 S. HIWASSEE RD. #212
ORLANDO, FL. 32835
PH. 407-531-5332

GEOTECHNICAL ENGINEER

TERRACON CONSULTANTS, INC.
1675 LEE RD.
WINTER PARK, FL. 32789
PH. 407-740-6110



1053 N. ORLANDO AVE. ■ SUITE 3 ■ MAITLAND ▲ FLORIDA 32751
TELEPHONE 407-629-4288 ■ FACSIMILE 407-629-1656 ■ EB# 7080

TREE CHART:

473	-	9" TREE
475	-	6" TREE
478	-	8" TREE
628	-	20" OAK
629	-	66" TREE
635	-	10" OAK
654	-	6" CHERRY
655	-	12" OAK
656	-	13" OAK
658	-	12" OAK
659	-	24" OAK
660	-	26" OAK
662	-	6" OAK
663	-	6-6" TREE
664	-	6-6" TREE

EXISTING SITE CONDITION:
ADDRESS: 1185 N. WYMORE ROAD, MAITLAND, FL 32751
PARCEL ID: 26-21-29-0000-00-024
TOTAL SITE AREA OWNED BY THE APPLICANT = 108,138.03 SF (2.48 AC.)
TOTAL SITE AREA IN THE PD ZONING APPLICATION = 104,099.61 SF (2.39 AC.)
(0.09 AC. LOCATED IN SEMINOLE COUNTY)

EXISTING BUILDING
- MAIN BUILDING = 6,585.27 SF
(ADMINISTRATIVE OFFICE, SOCIAL HALL, & SANCTUARY)
- 230 SEATS IN SANCTUARY
- CLASSROOM BUILDINGS = 3,894.70 SF
(CLASSROOMS & MEETING ROOMS)
- STORAGE = 284.67 SF
- COVERED PATIO = 2,451.86 SF
TOTAL GROSS FLOOR AREA = 13,216.40 SF

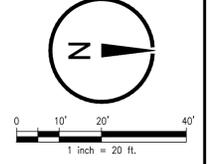
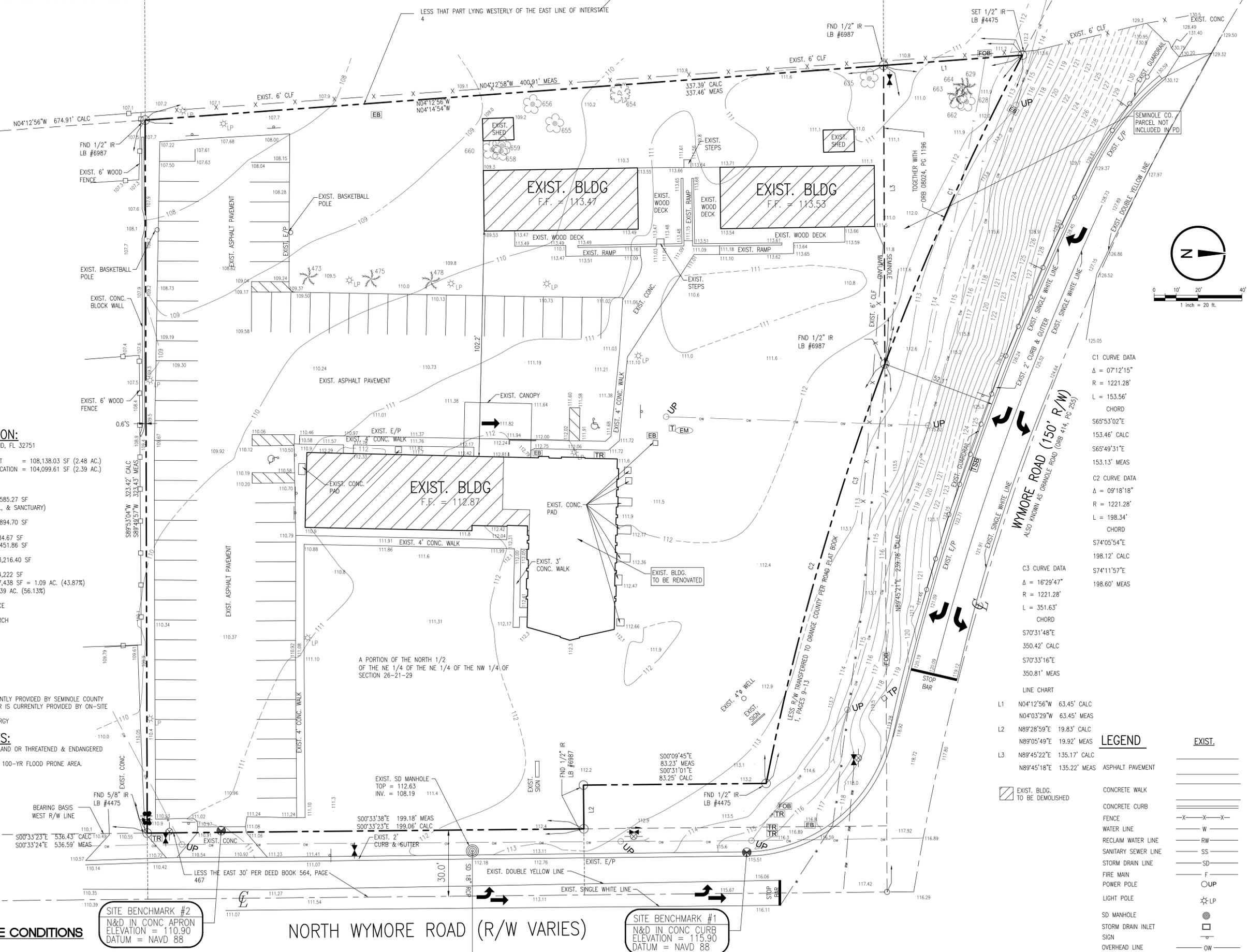
EXISTING PAVEMENT
TOTAL IMPERVIOUS SURFACE AREA = 34,222 SF
TOTAL PERVIOUS AREA = 47,438 SF = 1.09 AC. (43.87%)
TOTAL PERVIOUS AREA = 1.39 AC. (56.13%)

FUTURE LAND USE DESIGNATION OFFICE
EXISTING ZONING R1AA
EXISTING USES CHURCH

EXISTING PARKING:
77 REGULAR SPACES
3 HANDICAP SPACES
1 DROP-OFF/LOADING SPACE
TOTAL PARKING = 81 SPACES

UTILITIES:
• WATER: WATER SERVICE IS CURRENTLY PROVIDED BY SEMINOLE COUNTY
• SANITARY SEWER: SANITARY SEWER IS CURRENTLY PROVIDED BY ON-SITE SEWAGE DISPOSAL SYSTEM
• ELECTRICAL PROVIDER: DUKE ENERGY

ENVIRONMENTAL ISSUES:
• NO ON-SITE JURISDICTIONAL WETLAND OR THREATENED & ENDANGERED SPECIES.
• ENTIRE SITE IS LOCATED OUTSIDE 100-YR FLOOD PRONE AREA.



C1 CURVE DATA
Δ = 07°12'15"
R = 1221.28'
L = 153.56'
CHORD
S65°53'02"E
153.46' CALC
S65°49'31"E
153.13' MEAS

C2 CURVE DATA
Δ = 09°18'18"
R = 1221.28'
L = 198.34'
CHORD
S74°05'54"E
198.12' CALC
S74°11'57"E
198.60' MEAS

C3 CURVE DATA
Δ = 16°29'47"
R = 1221.28'
L = 351.63'
CHORD
S70°31'48"E
350.42' CALC
S70°33'16"E
350.81' MEAS

LINE CHART

L1	N04°12'56"W	63.45' CALC
	N04°03'29"W	63.45' MEAS
L2	N89°28'59"E	19.83' CALC
	N89°05'49"E	19.92' MEAS
L3	N89°45'22"E	135.17' CALC
	N89°45'18"E	135.22' MEAS

LEGEND

	ASPHALT PAVEMENT
	CONCRETE WALK
	CONCRETE CURB
	FENCE
	WATER LINE
	RECLAIM WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	FIRE MAIN
	POWER POLE
	LIGHT POLE
	SD MANHOLE
	STORM DRAIN INLET
	SIGN
	OVERHEAD LINE
	TREE

EXISTING SITE CONDITIONS
SCALE: 1" = 20'

SITE BENCHMARK #2
N&D IN CONC APRON
ELEVATION = 110.90
DATUM = NAVD 88

NORTH WYMORE ROAD (R/W VARIES)

SITE BENCHMARK #1
N&D IN CONC CURB
ELEVATION = 115.90
DATUM = NAVD 88

Seal: Majid Kalaghchi P.E. 41046

OVERALL EXIST. DEVELOPMENT PLAN
ST. ANTHONY COPTIC ORTHODOX CHURCH
MAITLAND, FLORIDA

CONCEPT PLAN
MAITLAND PRE-APP 11-18-14
PER MAITLAND/OWNER 04-13-15
2ND PRE-APP 04-27-16
SUFFICIENCY MAITLAND 07-09-16
SUFFICIENCY COMMENT 07-29-16

Issue Date and Purpose
Project Number: **1418**

Drawn by: D. FORSYTH
Checked: M. KALAGHCHI
File No: B0000000024X35

PD-1

PARCEL ID NO. 26-21-29-0000-00-024

PROPOSED DEVELOPMENT & PD STANDARDS

REDEVELOP ENTIRE SITE FOR A CHURCH WITH SUPPORT FUNCTIONS, ASSOCIATED PARKING, AND STORMWATER MANAGEMENT SYSTEM.

PROPOSED ZONING: PLANNED DEVELOPMENT (PD)
PROPOSED LAND USE: PERMITTED LAND USE - PER OP ZONING DISTRICT
INTENDED LAND USE: CHURCH (300 FIXED SEATS IN SANCTUARY)

PROPOSED SITE DATA:
TOTAL PROJECT AREA = 104,099 SF = 2.39 AC.
TOTAL BUILDING AREA (FOOTPRINT) = 24,716 SF
TOTAL PAVEMENT AREA = 41,953 SF (PAVED PARKING)

36% OPEN SPACE INCLUDE: DRY POND, & ALL LANDSCAPE AREAS

BUILDING DATA:

BUILDING AREAS:
SANCTUARY (300 SEATS) = 7,388 SF
CHapel = 3,441 SF
ADMINISTRATIVE OFFICE = 802 SF
EDUCATION / MULTI-PURPOSE BUILDING

TOTAL AREA = 31,232 SF (0.3 FAR)
LOT COVERAGE AREA = 24,716 SF (24%)

MAX. BUILDING HEIGHT = 35' (DOMES/SPIRES/STEEPLES = 55')

BUILDING SETBACK:
FRONT (N. WYMORE RD.) = 35' MIN.
SIDE (SOUTH) = 15' MIN.
STREET SIDE (NORTH & WEST) = 15' MIN.

LANDSCAPE BUFFER:

PER SEC. 8-13 BUFFER YARD LANDSCAPE REGULATIONS: MINIMUM DEPTH AND INTENSITY OF BUFFER YARD D IS REQUIRED ON ALL SIDES OF THE PROPERTY

PARKING LOT LANDSCAPE:

PER SEC. 8-13 PARKING LOT LANDSCAPE REGULATION.

PARKING REQUIREMENT:

CHURCH - 1 SPACE PER 3 FIXED SEATS
REQUIRED PARKING FOR 300 SEATS = 100 SPACES
PARKING PROVIDED = 101 SPACES

TYP. PARKING SPACE: 9'X18'
TYP. COMPACT SPACE: 8'X16' (C = COMPACT SPACES)
TYP. DRIVEWAY WIDTH: 24'

TRIP GENERATION:

TITLE LAND USE 560, CHURCH 31,232 SF
AVERAGE VEHICLE TRIP ENDS = 285 (142.5 ENTERING, 142.5 EXITING)

UTILITIES:

WATER - SEMINOLE COUNTY
SEWER - CURRENTLY ON SEPTIC. PROPOSE NEW LIFT STATION AND FORCE MAIN TO CONNECT TO CITY'S SEWER SYSTEM.

STORMWATER:

CURRENTLY THERE IS NO STORMWATER DRAINAGE OR MANAGEMENT SYSTEM ON SITE. THE PROPOSED PD WILL COMPLY WITH STORMWATER MANAGEMENT REGULATIONS OF CITY OF MAITLAND

PLAN NOTES:

- 1. NEW BUILDING WILL BE SPRINKLERED FOR FIRE PROTECTION AS MAY BE REQUIRED BY BUILDING CODE.
2. WATER SERVICES WILL CONTINUE TO BE SERVICED BY SEMINOLE COUNTY.
3. SEWER SERVICES WILL BE PROVIDED BY CITY OF MAITLAND.

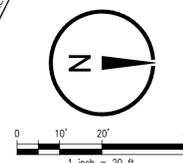
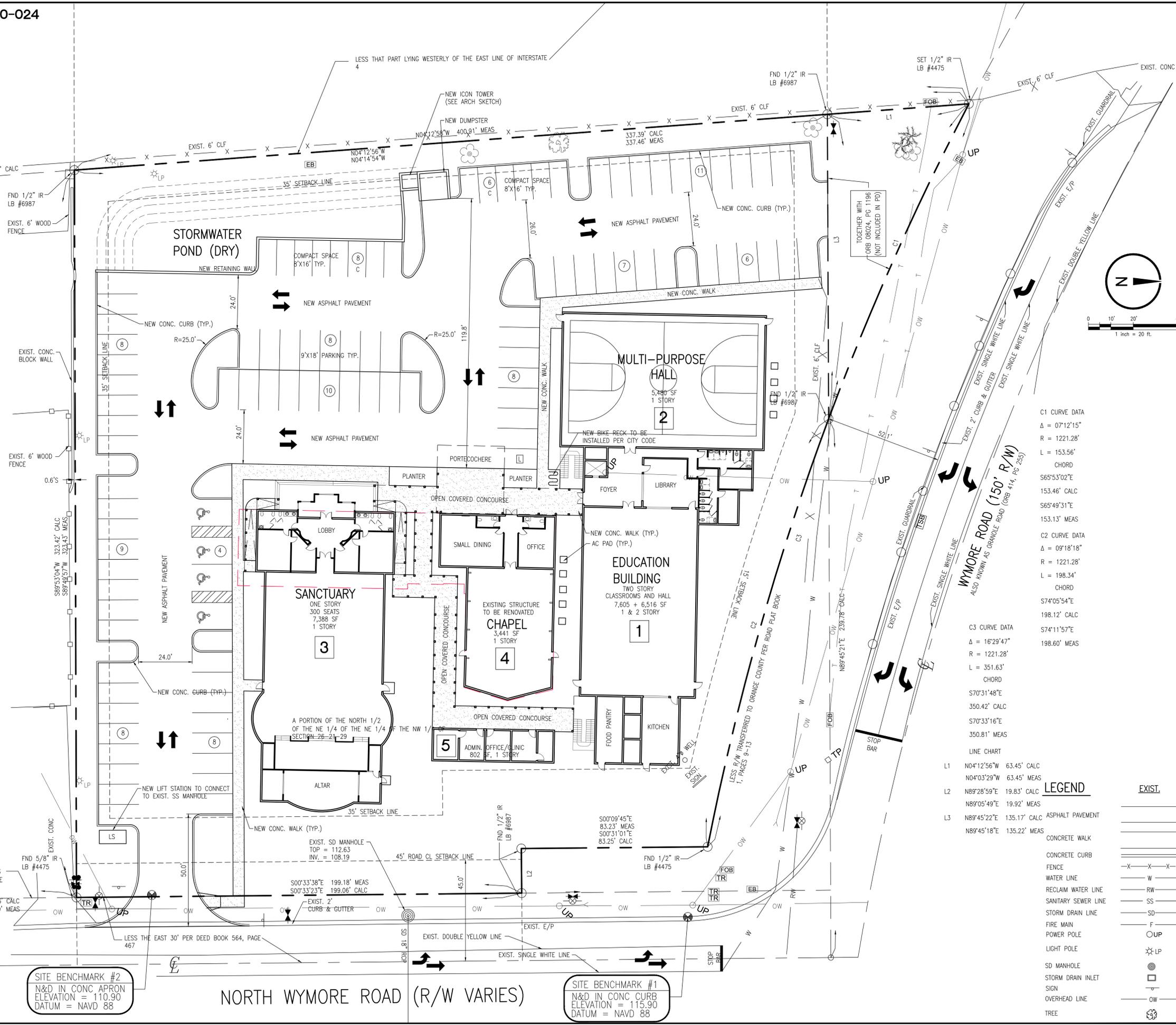


Table with curve data (C1, C2, C3) and line chart (L1, L2, L3) including bearings, distances, and curve types.

LEGEND

Legend table listing symbols for EXIST. ASPHALT PAVEMENT, CONCRETE WALK, CONCRETE CURB, FENCE, WATER LINE, etc.

Seal: Majid Kalaghchi P.E. 41046

SITE DEVELOPMENT PLAN

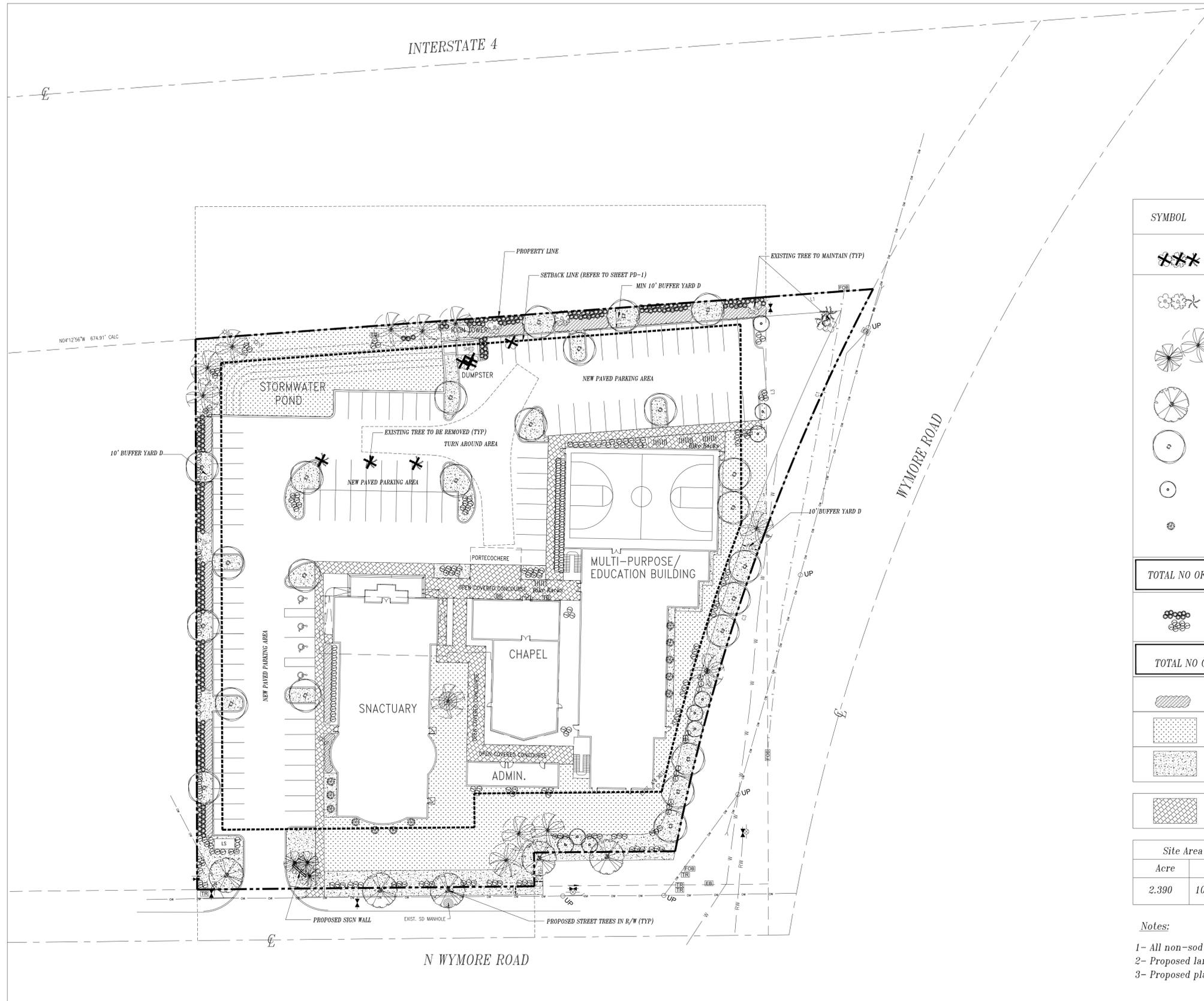
ST. ANTHONY COPTIC ORTHODOX CHURCH

MAITLAND, FLORIDA

CONCEPT PLAN
MAITLAND FIRE-APP 11-18-14
PER MAITLAND/OWNER 04-13-15

Issue Date and Purpose
Project Number: 1418
Checked: M. KALAGHCHI
File No: 1808201824X26

SK Consortium, Inc. logo and contact information: 1053 N. ORLANDO AVE., SUITE 300, MAITLAND, FLORIDA 32751



SYMBOL	DESCRIPTION	UNIT	Q
✕✕✕	EXISTING PLANTING TO BE REMOVED	EA	6
🌳	EXISTING PLANTING TO REMAIN	EA	9
🌴	PROPOSED PALM TREE PLANTING	EA	12
🌳	PROPOSED STREET TREE PLANTING	EA	3
🌳	PROPOSED STREET TREE PLANTING	EA	5
🌳	PROPOSED LARGE TREE PLANTING	EA	24
🌳	PROPOSED MEDIUM TREE PLANTING	EA	9
🌳	PROPOSED SMALL TREE PLANTING	EA	12
TOTAL NO OF PRESERVED & PROPOSED TREES / PALM TREES		EA	74
🌿	PROPOSED SHRUBS PLANTING	EA	205
		EA	254
TOTAL NO OF PROPOSED SHRUBS		EA	459
🌿	PROPOSED LOW SHRUBS AREAS PLANTING	SF	1447
🌿	PROPOSED SOD	SF	18560
🌿	MULCH	SF	
🌿	UNIT PAVERS		

Site Area		Min. no. of trees required	Min. no. of shrubss required
Acre	SF	1 per 2500 SF	10 per 2500 SF
2.390	104106.7	42	416

Notes:
 1- All non-sod planting shall be adopted to drip Irrigation.
 2- Proposed landscape will be fully irrigated, Sod areas will be sprinkled with 100% coverage.
 3- Proposed planting will comply with sight distance clearance

PROJECT:
 SAINT ANTHONY COPTIC ORTHODOX CHURCH

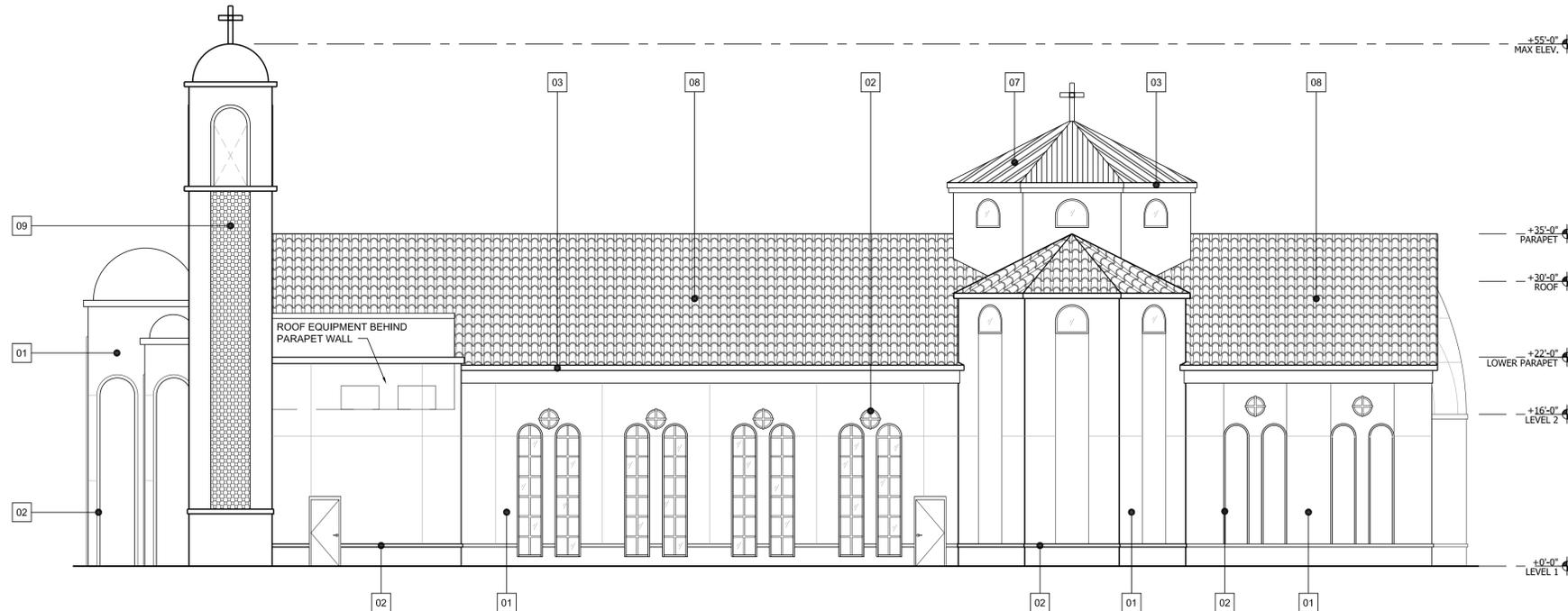
CONCEPTUAL LANDSCAPE PLAN
 JULY, 2016

LD-1

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. Scott + Cormia Architecture and Interiors, LLC must be notified immediately in writing of any variation from the dimensions and conditions shown on these drawings. Field verify all conditions prior to laying out or fabricating associated work. Bring all field verification to the attention of the architect immediately. If a discrepancy is noted, the contractor shall stop work and notify the architect immediately. The contractor shall not proceed with any work until the discrepancy is resolved. The contractor shall not be held responsible for any work done without the written permission and written consent of Scott + Cormia Architecture and Interiors, LLC. In the event of unauthorized use of these documents by a third party, the third party shall hold Scott + Cormia Architecture and Interiors, LLC harmless and agrees to remunerate Scott + Cormia Architecture and Interiors, LLC for such use in an amount equal to the original fee for the original documents, plus legal fees, court costs, collection fees and other costs.
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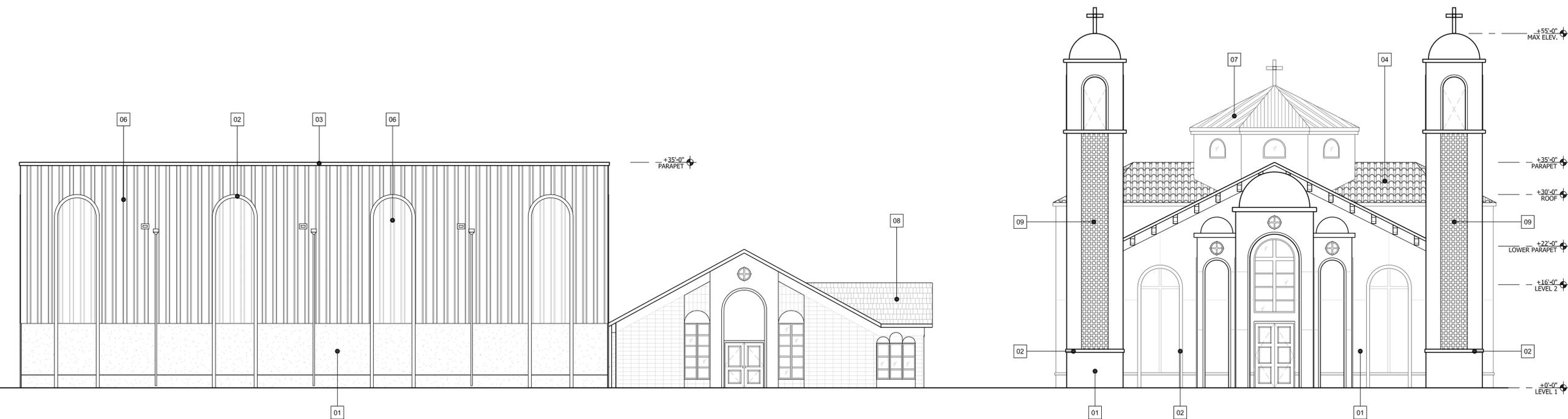


2 SANCTUARY SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND		
TAG	MATERIAL	COLOR FINISH REMARKS
01	PAINTED STUCCO	COLOR TO MATCH Sherwin Williams SW6373 Harvester
02	PAINTED EIFS TRIMSYSYSTEM	COLOR TO MATCH Sherwin Williams SW7006 Extra White
03	PAINTED ALUM FASCIA TRIM	COLOR TO MATCH Sherwin Williams SW7006 Extra White
04	METRO METAL ROMAN TILE ROOF	FINISH COLOR Mission Red
05	ALUMINUM FRAME STOREFRONT WINDOW SYSTEM	FRAME COLOR TO MATCH Kawneer bone white powder coat system w/ mullion pattern
06	CORRUGATED METAL WALL PANELS	POWDER COATING COLOR TO MATCH Sherwin Williams SW6373 Harvester
07	CORRUGATED METAL ROOF	FINISH COLOR Mission Red
08	ASPHALT ROOF SHINGLES	FINISH COLOR Pewter Gray
09	PORCELAIN CERAMIC TILE	TBD

Note: Substitution for similar materials and/or colors to be submitted for approval

- ENERGY EFFICIENCY NOTES:**
- BUILDING MATERIAL WILL BE OF HIGH ENERGY EFFICIENT.
 - ANTICIPATED R VALUE OF ___ MIN. INSULATED WINDOWS AND DOORS.
 - CONSIDERATION OF A BALANCE BETWEEN NATURAL LIGHT AND ENERGY CONSUMPTION THROUGH USE OF CLEARSTORY AND SKYLIGHT.
 - HAVING A SEPARATE CHAPEL FROM THE MAIN SANCTUARY IS ALSO A HELP IN ENERGY COST SAVING.
 - CONSIDERATION OF OPERABLE WINDOWS AND BREEZEWAYS BETWEEN BUILDINGS TO PROVIDE BETTER NATURAL AIR CIRCULATION.



1 OVERALL WEST FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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project

ST ANTHONY COPTIC ORTHODOX CHURCH

**1185 N. WYMORE ROAD
MAITLAND, FL 32751**

client approval

DATE: _____
DATE: _____
SIGNATURE QUARTER CLIENT REVIEW AND APPROVAL OF DRAWINGS AS SHOWN

seal

NOT FOR CONSTRUCTION

Raymond L. Scott, AIA
FL. REG. # AR0008232

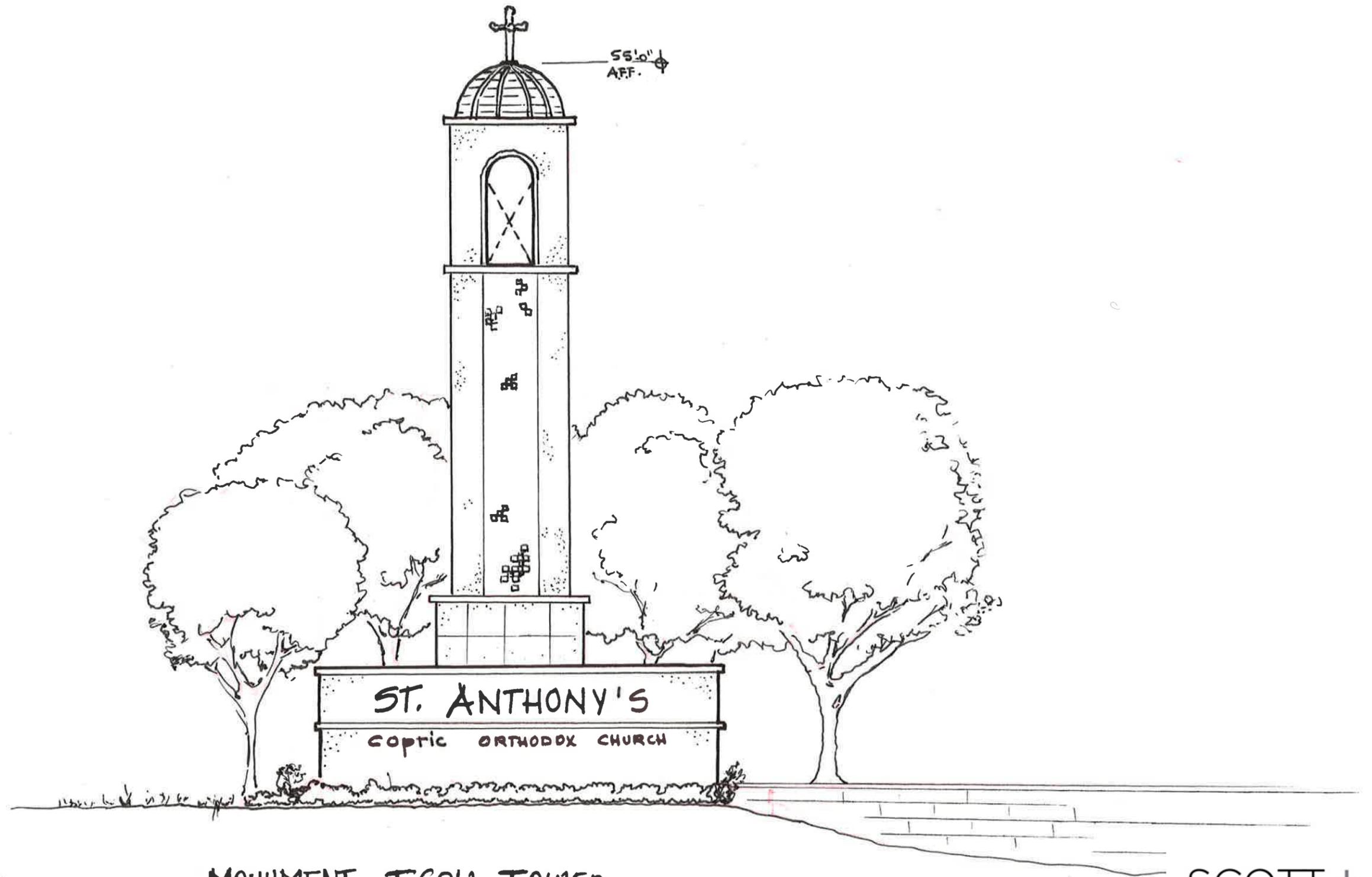
submissions

S#	DATE	DESCRIPTION

drawing info

PROJECT #: 15104
DRAWN BY: XXX, XXX, XXX
CHECKED BY: XXX

sheet number
EXTERIOR ELEVATIONS



MONUMENT ICON TOWER

SCALE : 1/8" = 1'-0"