

# CONDITIONAL USE PLAN FOR MAITLAND STATION

## LEGAL DESCRIPTION

Begin at the intersection of the North Line of the SW 1/4 of the NW 1/4 of Section 30, Township 21 S, Range 30 E and the Westerly right-of-way line of U.S. Highway 17-92, State Road No. 15 & 600, North Orlando Avenue per State Road Department right-of-way map Section 75030-2205 and 75030-2502, thence along said Westerly right of way line S 35°55'07" W a distance of 611.68 feet to a point on the Northerly right of way line of Parcel 162C as recorded in Official Record Book 10315, Page 4436, Public Records of Orange County, Florida, and the Northerly right of way line of Parcel 162A as recorded in Official Records Book 10315, Page 4436, Public Records of Orange County, Florida, thence the following six courses along said Northerly right of way lines: N 62°24'58" W a distance of 150.38 feet; thence N 24°51'56" E a distance of 93.06 feet; thence N 65°08'04" W a distance of 130.25 feet; thence N 24°51'56" E a distance of 12.06 feet to a point of curvature of a curve concave Southeasterly, having a radius of 1869.33 feet, and a central angle of 02°44'03"; thence Northeasterly 89.20 feet along the arc of said curve; thence N 62°24'01" W a distance of 15.75 feet to a point on the Easterly right of way of the CSX Railroad per OFORT, Segment C, Section 75000, F.P. ID No. 412994-2, Deed Book EE, Pages 539 through 541 and also being a point on a non-tangent curve concave Southeasterly having a radius of 1885.08 feet, a central angle of 14°53'05" and a chord bearing of N 35°02'31" E; thence from a tangent bearing of N 27°35'59" E, Northeasterly a distance of 489.72 feet along the arc of said curve and said Easterly right of way line to a point on the Southerly line of that Parcel as described in Official Record Book 4946, page 618, Public Records of Orange County, Florida; thence the following four courses along said Southerly line: S 81°54'10" E a distance of 33.74 feet; thence N 41°54'11" E a distance of 6.02 feet; thence S 80°19'16" E a distance of 181.25 feet; thence S 78°30'40" E a distance of 155.74 to a point on the aforementioned Westerly right-of-way line of U.S. Highway 17-92 (also being a point lying S 35°55'07" W 210.41 feet from the intersection of said Westerly right of way line and a line described as being 319.44 feet North of and parallel with the South line of the NW 1/4 of the NW 1/4 of Section 30, Township 21 S, Range 30 E); thence along said Westerly right of way line, S 35°55'07" W a distance of 184.94 feet to the POINT OF BEGINNING.

NOTE: This description was prepared by Southeastern Surveying. The full Legal Description can be found on Sheet 4 of 4 of the Survey.

**SECTION 25, TOWNSHIP 21 SOUTH, RANGE 29 EAST  
SECTION 30, TOWNSHIP 21 SOUTH, RANGE 30 EAST**

FOR

**EPOCH PROPERTIES, INC.  
359 CAROLINA AVE, SUITE 200  
WINTER PARK, FL 32789  
(407) 644-9055**

## INDEX OF SHEETS

COV	COVER SHEET
1-4	BOUNDARY/TOPO
ST-1	SITE PLAN
UDG-1	UTILITY, GRADING, AND DRAINAGE PLAN
VM-1	VEHICULAR MOVEMENT PLAN
-	LANDSCAPE PLAN COVER SHEET
L1.00	KEY SHEET
L1.10 - L1.11	SITE CODE LANDSCAPE
L2.00	LANDSCAPE DETAILS
L3.00	LIGHTING/SIGNAGE/SITE FURNISHING PLAN
L3.01	LIGHTING/SIGNAGE/SITE FURNISHING DETAIL
L3.02	STREETSCAPE CROSS SECTIONS
L4.00	LANDSCAPE SPECIFICATIONS
A1.11	FIRST FLOOR BUILDING PLAN
A1.12	SECOND FLOOR BUILDING PLAN
A1.13	THIRD FLOOR BUILDING PLAN
A1.14	FOURTH FLOOR BUILDING PLAN
A1.15	FIFTH FLOOR BUILDING PLAN
A2.11	EAST AND NORTH ELEVATION
A2.12	WEST AND SOUTH ELEVATION
A2.13	PERSPECTIVE VIGNETTES
A3.01	SITE CROSS SECTION
A4.01	TYPICAL UNIT PLANS
A4.02	TYPICAL UNIT PLANS



**MADDEN**  
**MOORHEAD & GLUNT, INC.**  
**CIVIL ENGINEERS**

431 E. HORATIO AVENUE, SUITE 260  
MAITLAND, FLORIDA 32751  
PHONE (407) 629-8330  
FAX (407) 629-8336

## PROJECT TEAM MEMBERS:

### APPLICANT

EPOCH PROPERTIES, INC.  
359 CAROLINA AVE, SUITE 200  
WINTER PARK, FL 32789  
(407) 644-9055

### ENGINEER

MADDEN, MOORHEAD, & GLUNT, INC.  
431 E HORATIO AVE., SUITE 260  
MAITLAND, FLORIDA 32751  
PHONE: 407-629-8330

### SURVEYOR

SOUTHEASTERN SURVEYING  
AND MAPPING CORPORATION  
6500 ALL AMERICAN BLVD.  
ORLANDO, FL 32810-4350

### LANDSCAPE ARCHITECT

DIX.HITE + PARTNERS, INC.  
150 W LAKE JESSUP AVE.  
LONGWOOD, FL 32750  
(407) 667-1777

### GEOTECHNICAL

TERRACON CONSULTANTS, INC.  
1675 LEE RD.  
WINTER PARK, FL 32789  
PHONE: 407-843-1311

## UTILITY PROVIDERS:

### POTABLE WATER:

CITY OF MAITLAND  
1776 INDEPENDENCE LANE  
MAITLAND, FL 32751  
PHONE: (407) 539-6222

### SAINTARY SEWER:

CITY OF MAITLAND  
1776 INDEPENDENCE LANE  
MAITLAND, FL 32751  
PHONE: (407) 539-6222

### POWER:

PROGRESS ENERGY  
150 PROGRESS ENERGY WAY  
LONGWOOD, FL 32750  
PHONE (407) 772-5327

### PHONE:

CENTURY LINK  
P.O. BOX 153000  
ALTAMONTE SPRINGS, FL 32715  
PHONE: (407) 830-3650

### CABLE:

BRIGHT HOUSE NETWORKS  
485 N. KELLER ROAD, SUITE 100  
MAITLAND, FL 32751  
PHONE: (407) 215-5944

### GAS:

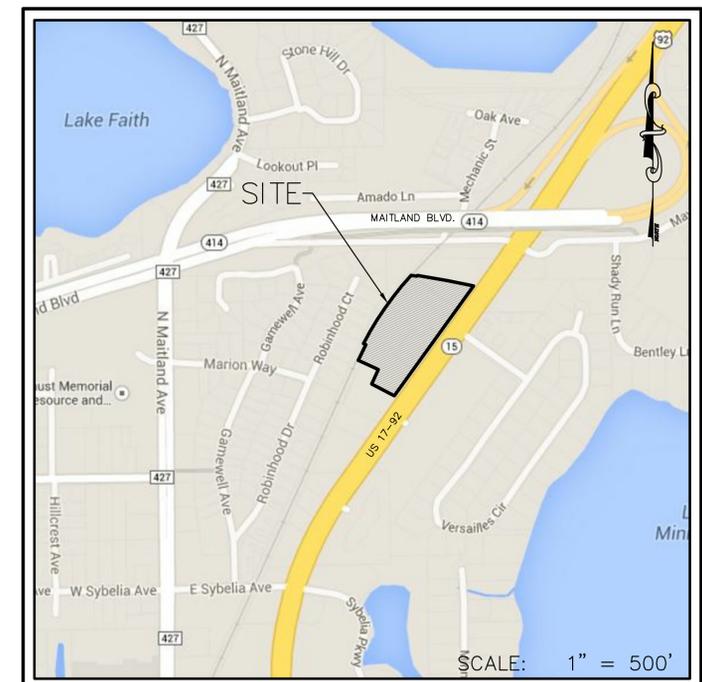
TECO PEOPLES GAS  
600 W. ROBINSON ST.  
ORLANDO, FL 32801  
PHONE: (407) 359-5425

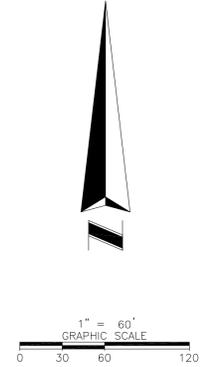
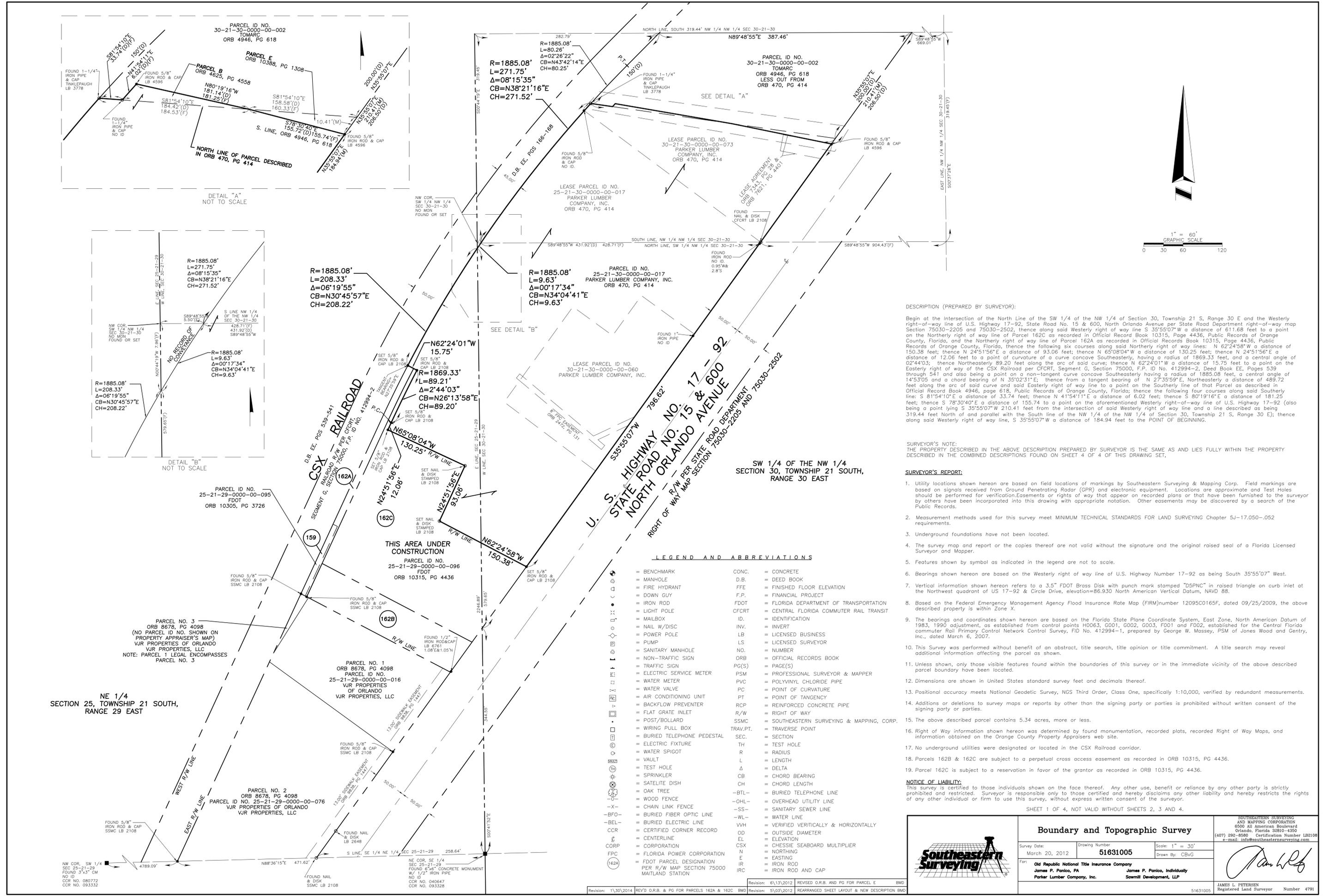
## PARCEL ID'S AND ADDRESSES

25-21-29-0000-00-017 30-21-30-0000-00-073  
851 N. ORLANDO AVE 1011 N. ORLANDO AVE  
MAITLAND, FL 32789 MAITLAND, FL 32789

30-21-30-0000-00-060  
905 N. ORLANDO AVE  
MAITLAND, FL 32789

## VICINITY MAP





**DESCRIPTION (PREPARED BY SURVEYOR):**

Begin at the intersection of the North Line of the SW 1/4 of the NW 1/4 of Section 30, Township 21 S, Range 30 E and the Westerly right-of-way line of U.S. Highway 17-92, State Road No. 15 & 600, North Orlando Avenue per State Road Department right-of-way map Section 75030-2205 and 75030-2502; thence along said Westerly right of way line S 35°55'07"W a distance of 611.68 feet to a point on the Northerly right of way line of Parcel 162C as recorded in Official Record Book 10315, Page 4436, Public Records of Orange County, Florida, and the Northerly right of way line of Parcel 162A as recorded in Official Record Book 10315, Page 4436, Public Records of Orange County, Florida, thence the following six courses along said Northerly right of way lines: N 62°24'58"W a distance of 150.38 feet; thence N 24°51'56"E a distance of 93.06 feet; thence N 65°08'04"W a distance of 130.25 feet; thence N 24°51'56"E a distance of 12.06 feet to a point of curvature of a curve concave Southeasterly, having a radius of 1869.33 feet, and a central angle of 02°44'03"; thence Northeasterly 89.20 feet along the arc of said curve; thence N 62°24'01"W a distance of 15.75 feet to a point on the Easterly right of way of the CSX Railroad per CF CRT, Segment G, Section 75000, F.P. ID No. 412994-2, Deed Book EE, Pages 539 through 541 and also being a point on a non-tangent curve concave Southeasterly having a radius of 1885.08 feet, a central angle of 14°53'05" and a chord bearing of N 35°02'31"E; thence from a tangent bearing of N 27°35'59"E, Northeasterly a distance of 489.72 feet along the arc of said curve and said Easterly right of way line to a point on the Southerly line of that Parcel as described in Official Record Book 4946, page 618, Public Records of Orange County, Florida; thence the following four courses along said Southerly line: S 81°54'10"E a distance of 33.74 feet; thence N 41°54'11"E a distance of 6.02 feet; thence S 80°19'16"E a distance of 181.25 feet; thence S 78°30'40"E a distance of 155.74 feet to a point on the aforementioned Westerly right-of-way line of U.S. Highway 17-92 (also being a point lying S 35°55'07"W 210.41 feet from the intersection of said Westerly right of way line and a line described as being 319.44 feet North of and parallel with the South line of the NW 1/4 of the NW 1/4 of Section 30, Township 21 S, Range 30 E); thence along said Westerly right of way line, S 35°55'07"W a distance of 184.94 feet to the POINT OF BEGINNING.

**SURVEYOR'S NOTE:**  
THE PROPERTY DESCRIBED IN THE ABOVE DESCRIPTION PREPARED BY SURVEYOR IS THE SAME AS AND LIES FULLY WITHIN THE PROPERTY DESCRIBED IN THE COMBINED DESCRIPTIONS FOUND ON SHEET 4 OF 4 OF THIS DRAWING SET.

- SURVEYOR'S REPORT:**
- Utility locations shown hereon are based on field locations of markings by Southeastern Surveying & Mapping Corp. Field markings are based on signals received from Ground Penetrating Radar (GPR) and electronic equipment. Locations are approximate and Test Holes should be performed for verification. Easements or rights of way that appear on recorded plans or that have been furnished to the surveyor by others have been incorporated into this drawing with appropriate notation. Other easements may be discovered by a search of the Public Records.
  - Measurement methods used for this survey meet MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING Chapter 5J-17.050-052 requirements.
  - Underground foundations have not been located.
  - The survey map and report or the copies thereof are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
  - Features shown by symbol as indicated in the legend are not to scale.
  - Bearings shown hereon are based on the Westerly right of way line of U.S. Highway Number 17-92 as being South 35°55'07" West.
  - Vertical information shown hereon refers to a 3.5" FOOT Brass Disk with punch mark stamped "D5PNC" in raised triangle on curb inlet at the Northwest quadrant of US 17-92 & Circle Drive, elevation=86.930 North American Vertical Datum, NAVD 88.
  - Based on the Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) number 12095C0165F, dated 09/25/2009, the above described property is within Zone X.
  - The bearings and coordinates shown hereon are based on the Florida State Plane Coordinate System, East Zone, North American Datum of 1983, 1990 adjustment, as established from control points H0063, G001, G002, established for the Central Florida commuter Rail Primary Control Network Control Survey, FID No. 412994-1, prepared by George W. Massey, PSM of Jones Wood and Gentry, Inc., dated March 6, 2007.
  - This survey was performed without benefit of an abstract, title search, title opinion or title commitment. A title search may reveal additional information affecting the parcel as shown.
  - Unless shown, only those visible features found within the boundaries of this survey or in the immediate vicinity of the above described parcel boundary have been located.
  - Dimensions are shown in United States standard survey feet and decimals thereof.
  - Positional accuracy meets National Geodetic Survey, NGS Third Order, Class One, specifically 1:10,000, verified by redundant measurements.
  - Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
  - The above described parcel contains 5.34 acres, more or less.
  - Right of Way information shown hereon was determined by found monumentation, recorded plats, recorded Right of Way Maps, and information obtained on the Orange County Property Appraisers web site.
  - No underground utilities were designated or located in the CSX Railroad corridor.
  - Parcels 162B & 162C are subject to a perpetual cross access easement as recorded in ORB 10315, PG 4436.
  - Parcel 162C is subject to a reservation in favor of the grantor as recorded in ORB 10315, PG 4436.

**NOTICE OF LIABILITY:**  
This survey is certified to those individuals shown on the face thereof. Any other use, benefit or reliance by any other party is strictly prohibited and restricted. Surveyor is responsible only to those certified and hereby disclaims any other liability and hereby restricts the rights of any other individual or firm to use this survey, without express written consent of the surveyor.

SHEET 1 OF 4, NOT VALID WITHOUT SHEETS 2, 3 AND 4.

**LEGEND AND ABBREVIATIONS**

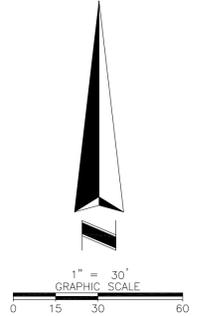
<ul style="list-style-type: none"> <li>○ = BENCHMARK</li> <li>□ = MANHOLE</li> <li>⊕ = FIRE HYDRANT</li> <li>⊖ = DOWN GUY</li> <li>⊙ = IRON ROD</li> <li>⊙ = LIGHT POLE</li> <li>⊙ = MAILBOX</li> <li>⊙ = NAIL W/DISC</li> <li>⊙ = POWER POLE</li> <li>⊙ = PUMP</li> <li>⊙ = SANITARY MANHOLE</li> <li>⊙ = NON-TRAFFIC SIGN</li> <li>⊙ = TRAFFIC SIGN</li> <li>⊙ = ELECTRIC SERVICE METER</li> <li>⊙ = WATER METER</li> <li>⊙ = WATER VALVE</li> <li>⊙ = AIR CONDITIONING UNIT</li> <li>⊙ = BACKFLOW PREVENTER</li> <li>⊙ = FLAT GRATE INLET</li> <li>⊙ = POST/BOLLARD</li> <li>⊙ = WIRING PULL BOX</li> <li>⊙ = BURIED TELEPHONE PEDESTAL</li> <li>⊙ = ELECTRIC FIXTURE</li> <li>⊙ = WATER SPIGOT</li> <li>⊙ = VAULT</li> <li>⊙ = TEST HOLE</li> <li>⊙ = SPRINKLER</li> <li>⊙ = SATELITE DISH</li> <li>⊙ = OAK TREE</li> <li>⊙ = WOOD FENCE</li> <li>⊙ = CHAIN LINK FENCE</li> <li>⊙ = BFO</li> <li>⊙ = BEL</li> <li>⊙ = CCR</li> <li>⊙ = CORP</li> <li>⊙ = FPC</li> <li>⊙ = FDOT PARCEL DESIGNATION PER R/W MAP SECTION 75000 MATLAND STATION</li> </ul>	<ul style="list-style-type: none"> <li>CONC. = CONCRETE</li> <li>D.B. = DEED BOOK</li> <li>FFE = FINISHED FLOOR ELEVATION</li> <li>F.P. = FINANCIAL PROJECT</li> <li>FDOT = FEDERAL DEPARTMENT OF TRANSPORTATION</li> <li>CFCRT = CENTRAL FLORIDA COMMUTER RAIL TRANSIT</li> <li>ID. = IDENTIFICATION</li> <li>INV. = INVERT</li> <li>LB = LICENSED BUSINESS</li> <li>LS = LICENSED SURVEYOR</li> <li>NO. = NUMBER</li> <li>ORB = OFFICIAL RECORDS BOOK</li> <li>PG(S) = PAGE(S)</li> <li>PSM = PROFESSIONAL SURVEYOR &amp; MAPPER</li> <li>PVC = POLYVINYL CHLORIDE PIPE</li> <li>PC = POINT OF CURVATURE</li> <li>PT = POINT OF TANGENCY</li> <li>RCP = REINFORCED CONCRETE PIPE</li> <li>R/W = RIGHT OF WAY</li> <li>SSMC = SOUTHEASTERN SURVEYING &amp; MAPPING, CORP.</li> <li>TRAV.PT. = TRAVERSE POINT</li> <li>SEC. = SECTION</li> <li>TH = TEST HOLE</li> <li>R = RADIUS</li> <li>L = LENGTH</li> <li>Δ = DELTA</li> <li>CB = CHORD BEARING</li> <li>CH = CHORD LENGTH</li> <li>-BTL = BURIED TELEPHONE LINE</li> <li>-OHL = OVERHEAD UTILITY LINE</li> <li>-SS = SANITARY SEWER LINE</li> <li>-WL = WATER LINE</li> <li>VVH = VERIFIED VERTICALLY &amp; HORIZONTALLY</li> <li>OD = OUTSIDE DIAMETER</li> <li>EL = ELEVATION</li> <li>CSX = CHESSEE SEABOARD MULTIPLIER</li> <li>N = NORTHING</li> <li>E = EASTING</li> <li>IR = IRON ROD</li> <li>IRC = IRON ROD AND CAP</li> </ul>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



<b>Boundary and Topographic Survey</b>		
Survey Date: March 20, 2012	Drawing Number: <b>51631005</b>	Scale: 1" = 30' Drawn By: CBVG
For: <b>Old Republic National Title Insurance Company</b> James P. Panico, PA Parker Lumber Company, Inc.		
James P. Panico, Individually Somwill Development, LLP		
 JAMES L. PETERSEN Registered Land Surveyor Number 4791		

Revision: 11/30/2014 REV'D O.R.B. & PG FOR PARCELS 162A & 162C BMS  
 Revision: 6/13/2012 REVISED O.R.B. AND PG FOR PARCEL E BMD  
 Revision: 5/03/2012 REARRANGED SHEET LAYOUT & NEW DESCRIPTION BMD

THIS AREA UNDER CONSTRUCTION  
NO SURVEY DATA OBTAINED WHILE BUILDINGS  
WERE BEING DEMOLISHED



SEE SHEET 1 FOR NOTES,  
LEGEND AND DESCRIPTION.  
NOT VALID WITHOUT SHEETS  
1, 3 & 4 OF 4.



SOUTHEASTERN SURVEYING  
AND MAPPING CORPORATION  
6500 All American Boulevard  
Orlando, Florida 32810-4350  
407-292-8580  
info@southesternsurveying.com



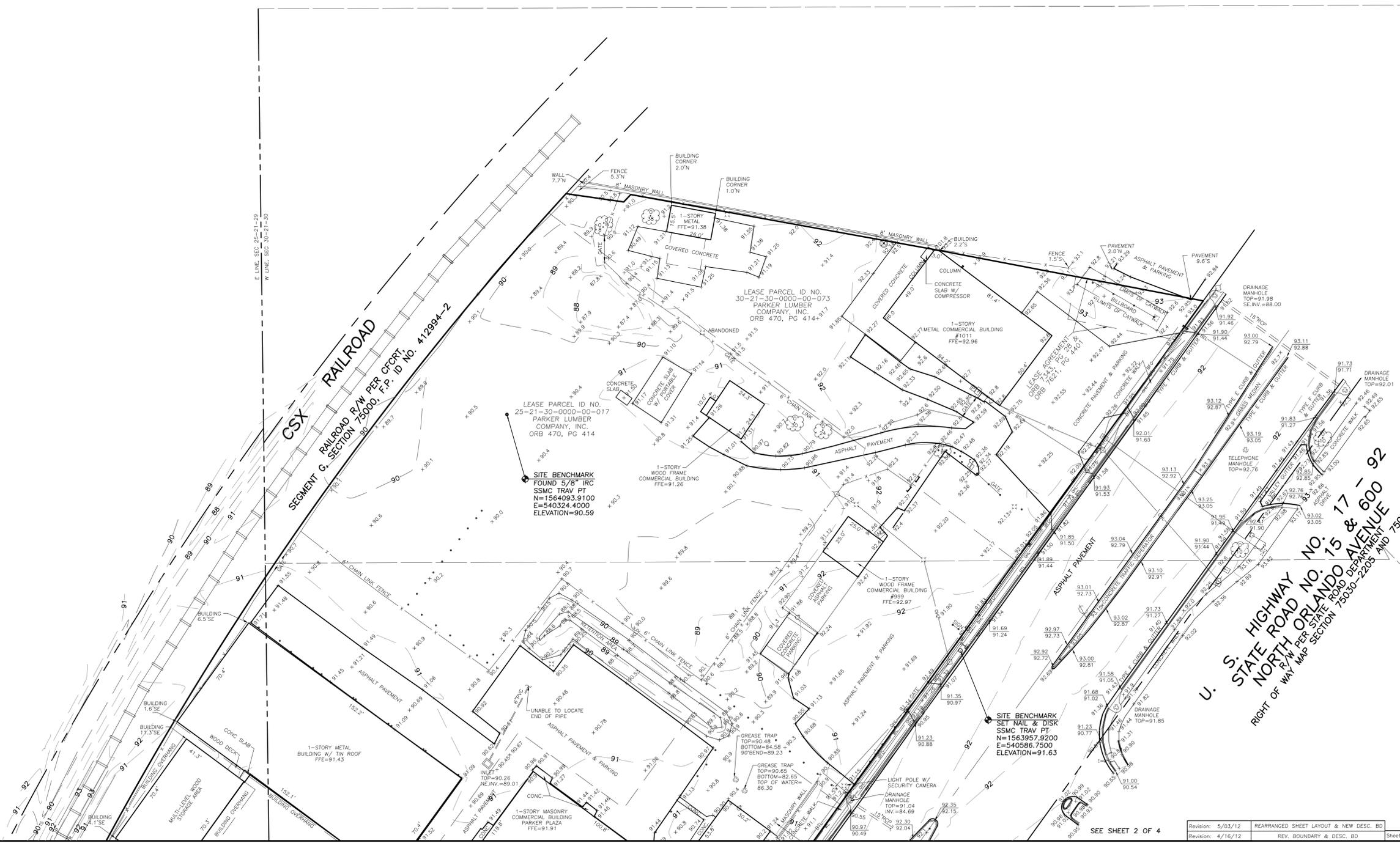
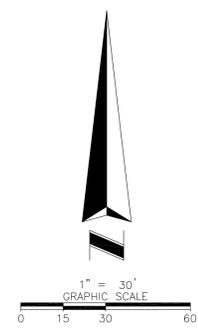
SITE BENCHMARK  
SET NAIL & DISK  
SSMC TRAV PT  
N=1563581.6460  
E=540125.6350  
ELEVATION=89.14

SITE BENCHMARK  
SET NAIL & DISK  
SSMC TRAV PT  
N=1563817.9340  
E=540208.7810  
ELEVATION=90.96

SITE BENCHMARK  
SET NAIL & DISK  
SSMC TRAV PT  
N=1563738.8180  
E=540333.8150  
ELEVATION=90.90

SITE BENCHMARK  
SET NAIL & DISK  
SSMC TRAV PT  
N=1563575.5790  
E=540438.3810  
ELEVATION=89.45

SITE BENCHMARK  
SET NAIL & DISK  
SSMC TRAV PT  
N=1563314.8750  
E=540101.8170  
ELEVATION=87.27



LEASE PARCEL ID NO. 25-21-30-0000-00-017  
 PARKER LUMBER COMPANY, INC.  
 ORB 470, PG 414

SITE BENCHMARK  
 FOUND 5/8" IRC  
 SSMC TRAV PT  
 N=1564093.9100  
 E=540324.4000  
 ELEVATION=90.59

SITE BENCHMARK  
 SET NAIL & DISK  
 SSMC TRAV PT  
 N=1563957.9200  
 E=540586.7500  
 ELEVATION=91.63

U. S. HIGHWAY NO. 15  
 NORTH ORLANDO AVENUE  
 R/W PER STATE ROAD DEPARTMENT  
 SECTION 78000-2205 AND 75000-2502

SEE SHEET 1 FOR NOTES,  
 LEGEND AND DESCRIPTION.  
 NOT VALID WITHOUT SHEETS  
 1, 2 & 4 OF 4.

**Southeastern Surveying**

SOUTHEASTERN SURVEYING  
 AND MAPPING CORPORATION  
 6500 All American Boulevard  
 Orlando, Florida 32810-4350  
 407/292-8580  
 email: info@southeasternsurveying.com

THE PROPERTY DESCRIBED IN THE FOLLOWING COMBINED DESCRIPTIONS IS THE SAME AS AND LIES FULLY WITHIN THE PROPERTY DESCRIBED IN THE DESCRIPTION PREPARED BY SURVEYOR FOUND ON SHEET 1 OF 4 OF THIS DRAWING SET.

DESCRIPTION: (Per Official Records Book 470, Page 414)

The SW 1/4 of the NW 1/4 of Section 30, Township 21 South, Range 30 East, lying West of State Road (and East of the Railroad);

AND

All of the South 319.44 feet of the Northwest 1/4 of the Northwest 1/4 of Section 30, Township 21 South, Range 30 East lying West of the State Road and East of the Atlantic Coast Line Railroad, LESS the Northerly 200 feet measured on State Road and Northerly 150 feet measured on railroad.

All that part of the Southeast 1/4 of the Northeast 1/4 (lying) Southeast of the Atlantic Coast Line Railroad and West of the State Road, Section 25, Township 21 South, Range 29 East, consisting of three acres, more or less. LESS the following: BEGIN at the point of intersection of the South line of the Southeast 1/4 of the Northeast 1/4 of Section 25, Township 21 South, Range 29 East and the East line of the right-of-way of the A.C.L. Railroad; run East along said South line of Southeast 1/4 of Northeast 1/4 to the point of intersection with the West line of the right-of-way of State Highway; thence run Northeasterly along said West line of said Highway 350 feet; thence Northwesterly to a point on the East line of the right-of-way of the A.C.L. Railroad 450 feet Northeasterly along said East line from the POINT OF BEGINNING; thence run Southwesterly along said East line 450 feet to the BEGINNING. Said property lying and being in Orange County.

TOGETHER WITH:

**Parcel "B"** (Per Official Records Book 4625, Page 4558)

From a point where the Westerly right of way line (which bears North 35°57'30" East for the purpose of the description) of Orlando-Sanford Highway (U.S. 17-92), as per Florida Department of Transportation right of Way Plans dated February 5, 1960 intersects a line described as being 319.44 feet North of and parallel to the South line of the Northwest 1/4 of the Northwest 1/4 of Section 30, Township 21 South, Range 30 East, Orange County, Florida; run thence South 35°57'30" West along said Westerly right of way line for 200.00 feet; thence North 81°15'00" West for 158.58 feet to the POINT OF BEGINNING; thence continue North 81°15'00" West for 184.42 feet; thence North 42°33'30" East for 6.02 feet; thence South 79°40'00" East for 181.14 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

**Parcel "E"** (Per Official Records Book 10388, Page 1308)

That part of the South 319.44 feet of the Northwest 1/4 of the Northwest 1/4 of Section 30, Township 21 South, Range 30 East lying West of the State Road and East of the Atlantic Coast Line Railroad, described as follows:

Begin at a point where the Westerly right of way line (which bears North 35°57'30" East for the purpose of the description) of Orlando-Sanford Highway (U.S. 17-92), as per Florida Department of Transportation right of Way plans dated February 5, 1960, intersects a line described as being 319.44 feet North of and parallel to the South line of the Northwest 1/4 of the Northwest 1/4 of Section 30, Township 21 South, Range 30 East, Orange County, Florida; run thence South 35°57'30" West along said Westerly right of way line for 206.50 feet; thence North 79°07'20" West for 155.72 feet; thence North 79°40'00" West for 181.14 feet; thence South 42°33'30" West for 6.02 feet; thence North 81°15'00" West for 33.74 feet to a point on the Easterly right of way line of the 50 foot wide C.S.X. Transportation Railroad right of way, said point being on a curve concave Southeasterly having a radius of 1884.86 feet; thence from a tangent bearing of South 42°32'21" West run Northeasterly along the arc of said curve and along said Easterly right of way line of the C.S.X. Transportation Railroad right of way 25 feet Easterly of and parallel to the centerline of said railroad through a central angle of 02°37'10" for a distance of 86.16 feet; thence North 45°09'31" East for 61.39 feet to a point on the North line of the South 319.44 feet of the Northwest 1/4 of the Northwest 1/4 of the aforesaid Section 30; thence South 89°52'30" East along said North line for 386.58 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

F.P. No. 412994 2 - Section 75000 - Central Florida Commuter Rail Transit  
Maitland Station Site

**PARCEL No. 162A** (PER ORB 10315, PAGE 4436)

That part of:

"All that part of the Southeast 1/4 of the Northeast 1/4 Southeast of the Atlantic Coast Line Railroad and West of the State Road, Section 25, Township 21 South, Range 29 East, consisting of three acres, more or less. Less the following: Begin at the point of intersection of the South line of the Southeast 1/4 of the Northeast 1/4 of Section 25, Township 21 South, Range 29 East and the East line of the right-of-way of the A.C.L. Railroad; run East along said South line of Southeast 1/4 of Northeast 1/4 to point of intersection with the West line of the right-of-way of State Highway; thence run Northeasterly along said West line of said Highway 350 feet; thence Northwesterly to a point on the East line of the right-of-way of the A.C.L. Railroad 450 feet Northeasterly along said East line from the point of beginning; thence run Southwesterly along said East line 450 feet to beginning. Said property lying and being in Orange County."

(Said property being a portion of the same lands described in Official Records Book 470, Page 414 of the Public Records of Orange County, Florida.)

described as follows:

Commence at a found 6"x6" concrete monument with 1/2" iron pipe and without identification marking the Northeast corner of the Southeast 1/4 of Section 25, Township 21 South, Range 29 East, Orange County, Florida; thence run North 00°44'19" West, along the East line of said Northeast 1/4, a distance of 344.55 feet to the Westerly right of way line of State Road No. 15 & 600 (North Orlando Avenue) as shown on State Road Department Right of Way Map Section 75030-2205 and 75030-2502; thence departing said East line, run South 35°55'07" West, along said Westerly right of way line of State Road No. 15 & 600 (North Orlando Avenue) a distance of 83.19 feet to the Southeast corner of that parcel of land described in Official Records Book 470, Page 414 of the Public Records of Orange County, Florida; thence departing said Westerly right of way line, run North 62°24'58" West, along the South line of said parcel, a distance of 248.38 feet to the POINT OF BEGINNING; thence continue North 62°24'58" West, a distance of 2.50 feet to a point being on a line 7.50 feet perpendicular distance from the Easterly right of way line of the CSX railroad as shown on Central Florida Commuter Rail Transit Segment G, Section 75000, F.P. ID NO. 412994-2; thence run North 24°51'56" East, along a line being parallel with the said Easterly right of way line of the CSX railroad, a distance of 117.21 feet; thence run North 64°01'06" West, a distance of 7.50 feet to said Easterly right of way line of the CSX railroad; thence run North 24°51'56" East, along said Easterly right of way line of the CSX railroad, a distance of 178.08 feet to the point of curvature of a curve concave Southeasterly, having a radius of 1885.08 feet; thence Northeasterly along said Easterly right of way line of the CSX railroad and the arc of said curve through a central angle of 02°44'03", a distance of 89.98 feet to a point on said curve; thence departing said Easterly right of way line, run South 62°24'01" East, a distance of 10.00 feet to a point on a non-tangent curve concave Southeasterly being 10.00 feet Easterly of and concentric to said Easterly right of way line of the CSX railroad, having a radius of 1875.08 feet and a chord bearing of South 26°13'58" West; thence from a tangent bearing of South 27°35'59" West, run Southwesterly along the arc of said curve through a central angle of 02°44'03", a distance of 89.48 feet to the point of tangency; thence run South 24°51'56" West, along a line being Easterly of and parallel with said Easterly right of way line of the CSX railroad a distance of 295.55 feet to the POINT OF BEGINNING.

ALSO LESS AND EXCEPT

**PARCEL No. 162B**

That part of:

"All that part of the Southeast 1/4 of the Northeast 1/4 Southeast of the Atlantic Coast Line Railroad and West of the State Road, Section 25, Township 21 South, Range 29 East, consisting of three acres, more or less. Less the following: Begin at the point of intersection of the South line of the Southeast 1/4 of the Northeast 1/4 of Section 25, Township 21 South, Range 29 East and the East line of the right-of-way of the A.C.L. Railroad; run East along said South line of Southeast 1/4 of Northeast 1/4 to point of intersection with the West line of the right-of-way of State Highway; thence run Northeasterly along said West line of said Highway 350 feet; thence Northwesterly to a point on the East line of the right-of-way of the A.C.L. Railroad 450 feet Northeasterly along said East line from the point of beginning; thence run Southwesterly along said East line 450 feet to beginning. Said property lying and being in Orange County."

(Said property being a portion of the same lands described in Official Records Book 470, Page 414 of the Public Records of Orange County, Florida.)

described as follows:

Commence at a found 6"x6" concrete monument with 1/2" iron pipe and without identification marking the Northeast corner of the Southeast 1/4 of Section 25, Township 21 South, Range 29 East, Orange County, Florida; thence run North 00°44'18" West, along the East line of said Northeast 1/4, a distance of 344.55 feet to the Westerly right of way line of State Road No. 15 & 600 (North Orlando Avenue) as shown on State Road Department Right of Way Map Section 75030-2205 and 75030-2502; thence departing said East line, run South 35°55'07" West, along said Westerly right of way line of State Road No. 15 & 600 (North Orlando Avenue) a distance of 26.59 feet to the POINT OF BEGINNING; thence continue South 35°55'07" West, along said Westerly right of way line, a distance of 56.60 feet to the Southeast corner of that parcel of land described in Official Records Book 470, Page 414 of the Public Records of Orange County, Florida; thence departing said Westerly right of way line, run North 62°24'58" West, a distance of 248.38 feet along the South line of said parcel to a point being on a line 10.00 feet perpendicular distance from the Easterly right of way line of the CSX railroad as shown on Central Florida Commuter Rail Transit Segment G, Section 75000, F.P. ID NO. 412994-2; thence departing said South line, run North 24°51'56" East, along a line parallel with the said Easterly right of way line of the CSX railroad, a distance of 56.06 feet; thence run South 62°24'58" East, a distance of 259.24 feet to the POINT OF BEGINNING.

ALSO LESS AND EXCEPT

**PARCEL No. 162C**

That part of:

"The Southwest 1/4 of the Northwest 1/4 of Section 30, Township 21 South, Range 29 East, lying West of State Road."

And:

"All that part of the Southeast 1/4 of the Northeast 1/4 Southeast of the Atlantic Coast Line Railroad and West of the State Road, Section 25, Township 21 South, Range 29 East, consisting of three acres, more or less. Less the following: Begin at the point of intersection of the South line of the Southeast 1/4 of the Northeast 1/4 of Section 25, Township 21 South, Range 29 East and the East line of the right-of-way of the A.C.L. Railroad; run East along said South line of Southeast 1/4 of Northeast 1/4 to point of intersection with the West line of the right-of-way of State Highway; thence run Northeasterly along said West line of said Highway 350 feet; thence Northwesterly to a point on the East line of the right-of-way of the A.C.L. Railroad 450 feet Northeasterly along said East line from the point of beginning; thence run Southwesterly along said East line 450 feet to beginning. Said property lying and being in Orange County."

(Said property being a portion of the same lands described in Official Records Book 470, Page 414 of the Public Records of Orange County, Florida.)

described as follows:

Commence at a found 6"x6" concrete monument with 1/2" iron pipe and without identification marking the Northeast corner of the Southeast 1/4 of Section 25, Township 21 South, Range 29 East, Orange County, Florida; thence run North 00°44'18" West, along the East line of said Northeast 1/4, a distance of 344.55 feet to the Westerly right of way line of State Road No. 15 & 600 (North Orlando Avenue) as shown on State Road Department Right of Way Map Section 75030-2205 and 75030-2502 also being the POINT OF BEGINNING; thence departing said East line, run South 35°55'07" West, along said Westerly right of way line of State Road No. 15 & 600 (North Orlando Avenue) a distance of 26.59 feet; thence departing said Westerly right of way line, run North 62°24'58" West, a distance of 259.24 feet to a point being on a line 10.00 feet perpendicular distance from the Easterly right of way line of the CSX railroad as shown on Central Florida Commuter Rail Transit Segment G, Section 75000, F.P. ID no. 412994-2; thence run North 24°51'56" East, along a line being parallel with the said Easterly right of way line of the CSX railroad, a distance of 239.49 feet to the point of curvature of a curve concave Southeasterly being 10.00 feet Easterly of and concentric to said Easterly right of way line of the CSX railroad, having a radius of 1875.08 feet; thence Northeasterly along the arc of said curve through a central angle of 02°44'03", a distance of 89.48 feet to the end of said curve; thence run South 62°24'01" East, a distance of 5.75 feet to a point on a non-tangent curve concave Southeasterly being 15.75 feet Easterly of and concentric to said Easterly right of way line of the CSX railroad, having a radius of 1869.33 feet and a chord bearing of South 26°13'58" West; thence from a tangent bearing of South 27°35'59" West, run Southwesterly along the arc of said curve, through a central angle of 02°44'03", a distance of 89.21 feet to the point of tangency; thence run South 24°51'56" West, along a line being Easterly of and parallel with said Easterly right of way line of the CSX railroad a distance of 12.06 feet; thence run South 65°08'04" East, a distance of 130.25 feet; thence run South 24°51'56" West, a distance of 93.06 feet; thence run South 62°24'58" East, a distance of 150.38 feet to the aforementioned Westerly right of way line of State Road No. 15 & 600 (North Orlando Avenue); thence run South 35°55'07" West, along said Westerly right of way line, a distance of 115.57 feet to the POINT OF BEGINNING.

ALSO LESS AND EXCEPT

**PARCEL 159** Per Official Records Book 10305, Page 3726

A portion of the Northeast 1/4 of Section 25, Township 21 South, Range 29 East, Orange County, Florida, being more particularly described as follows:

Commence at the East 1/4 corner of said Section 25, Township 21 South, Range 29 East; thence N00°44'19"W, a distance of 924.20 feet along East line of said Northeast Quarter of Section 25, to a point on the Easterly right of way line of the Seaboard Coast Railroad, being a point 25.00 feet from the centerline of said railroad right of way; said point being on a non-tangent curve concave Southeasterly, having a radius of 1,885.08 feet, a chord bearing of S29°23'55"W and a chord distance of 297.98 feet; thence from a tangent bearing of S33°55'55"W, run Southwesterly along the arc of said curve through a central angle of 09°03'59" and said Easterly right of way line, a distance of 298.29 feet, to a point of tangency; thence continue along said Easterly railroad right of way line S24°51'56"W, a distance of 178.08 feet to the POINT OF BEGINNING; thence continue along said Easterly railroad right of way line S24°51'56"W, a distance of 117.00 feet to a point on the North line of a parcel of land described as Parcel 1, in Official Records Book 8678, Pages 4098 thru 4100, Public Records of Orange County, Florida; thence along said North line S63°31'50"E, a distance of 7.50 feet to a point on a line 7.50 feet perpendicular distance from said Easterly right of way line of the Seaboard Coast Railroad; thence N24°51'56"E, a distance of 117.21 feet along a line parallel with the said Easterly railroad right of way line; thence N 65°08'04" W, a distance of 7.50 feet to the POINT OF BEGINNING.

SEE SHEET 1 FOR NOTES,  
LEGEND AND DESCRIPTION.  
NOT VALID WITHOUT SHEETS  
1, 2 & 3 OF 4.



SOUTHEASTERN SURVEYING  
AND MAPPING CORPORATION  
6500 All American Boulevard  
Orlando, Florida 32810-4350  
407)292-8580  
email: info@southeasternsurveying.com



**MADDEN**  
BOORHEAD & GLUNT, INC.  
CIVIL ENGINEERS

431 E. Horatio Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

**SITE PLAN FOR MAITLAND STATION**  
FLORIDA

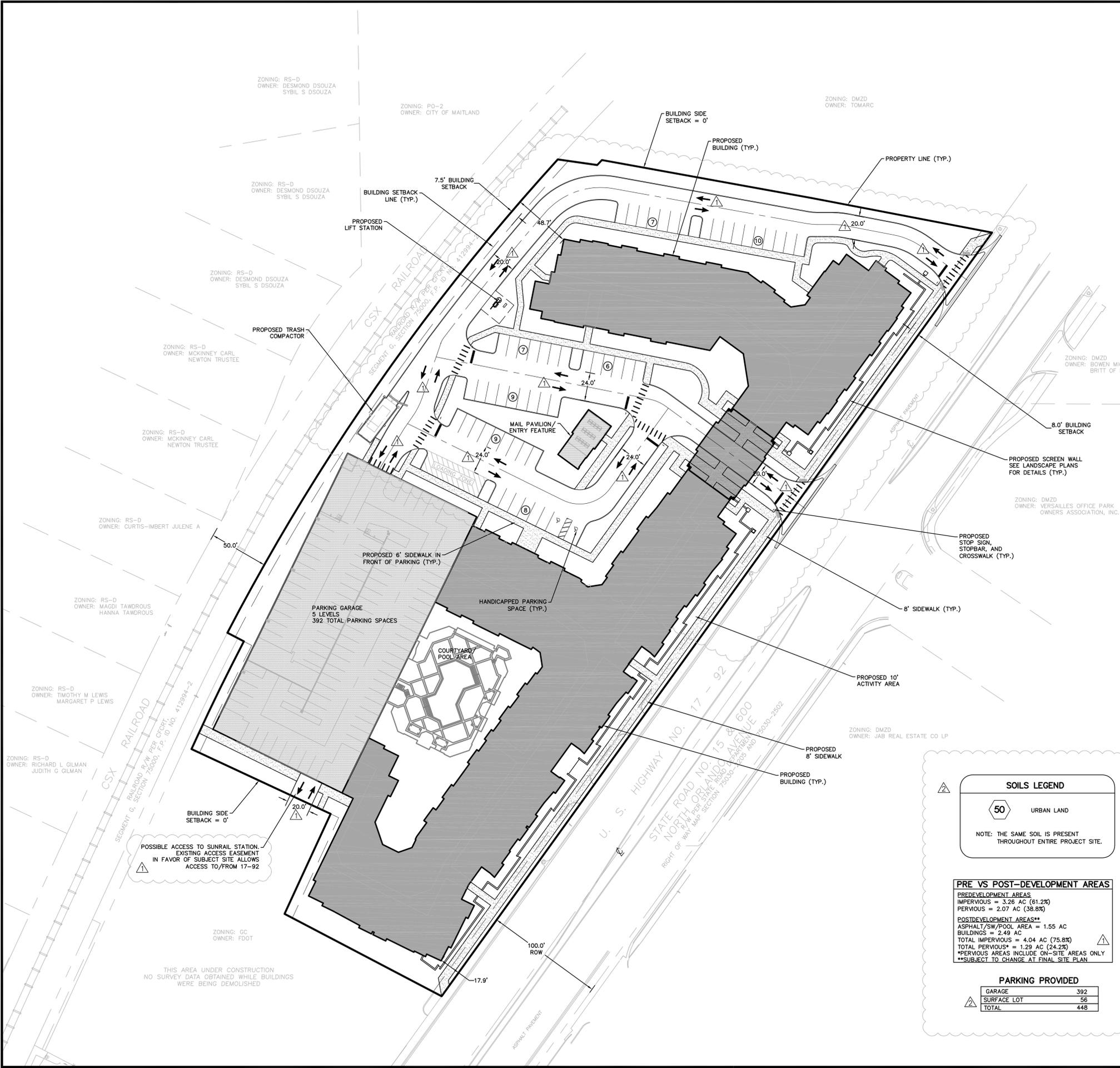
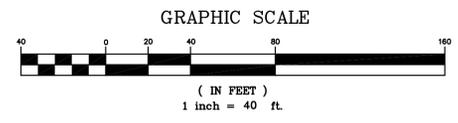
**EPOCH PROPERTIES, INC.**  
359 CAROLINA AVE, SUITE 200  
WINTER PARK, FL 32789  
(407) 644-9055

ENGINEER IN CHARGE:  
DAVID A. STOKES P.E. #66527  
CERTIFICATE OF AUTHORIZATION NO. EB-007723

NO.	DATE	REVISIONS
1	12/09/14	REVISED PER CITY COMMENTS
2	12/17/14	REVISED ENTIRE PLAN PER CITY
3	1/14/15	
4	1/14/15	
5	1/14/15	
6	1/14/15	
7	1/14/15	
8	1/14/15	
9	1/14/15	
10	1/14/15	
11	1/14/15	

JOB # 14033  
DATE: 12/1/14  
SCALE: 1" = 40'  
DESIGNED BY: DAS  
DRAWN BY: TRF  
APPROVED BY: DAS

**ST-1**



**SITE DATA:**

- SITE AREA = 232,385 SF = 5.33 AC.
  - EXISTING ZONING: DOWNTOWN MAITLAND ZONING DISTRICT (DMZD)
  - EXISTING LAND USE: COMMERCIAL
  - PROPOSED USES: 293 APARTMENT UNITS
  - FUTURE LAND USE IS DOWNTOWN MAITLAND
  - MAXIMUM ALLOWED DENSITY = 55 DU/AC  
PROPOSED SITE DENSITY = 293 DU/5.33 AC. = 54.97 DU/AC
  - ALL STORAGE AREAS WITHIN THE BUILDING ARE EXCLUSIVELY FOR RESIDENTIAL PURPOSES.
  - MAXIMUM ALLOWED IMPERVIOUS AREA = 80%  
PROPOSED IMPERVIOUS AREA = 75.8% SUBJECT TO CHANGE AT SITE PLAN REVIEW
  - MAX ALLOWED FAR = 2.0  
PROPOSED FAR = 367,300 SF BLDG/232,385 = 1.58  
SUBJECT TO CHANGE AT SITE PLAN REVIEW
  - PROPOSED BUILDING HEIGHT = 75 FT (5-STORIES)  
PROPOSED GARAGE HEIGHT = 65 FT (5-STORIES)
  - PROPOSED PARKING IS 1.53 SPACES PER UNIT FOR APARTMENT UNITS  
= 293 UNITS X 1.53 SPACES/UNIT = 448 SPACES  
\*SEE PARKING CALCULATION TABLE LOCATED ON THIS PAGE.
  - REQUIRED OPEN SPACE = 15% = 0.15 X 5.33 AC. = 0.80 AC.  
PROPOSED OPEN SPACE = 1.29 AC PERVIOUS + 0.29 AC POOL/COURTYARD  
= 1.58 AC. (29.64%) SUBJECT TO CHANGE AT SITE PLAN REVIEW
- \*OPEN SPACE INCLUDES ON-SITE PERVIOUS AREAS AND AMENITY AREAS SUCH AS THE POOL/COURTYARD AND CLUBHOUSE. AREAS SUBJECT TO CHANGE DURING SITE PLAN REVIEW.
- TOTAL SITE AREA 5.33 AC. (100%)  
BUILDING AREA'S 2.49 AC. (46.7%)  
ROAD (ASPHALT) 0.87 AC. (16.3%)  
SIDEWALKS/HARDSCAPE 0.68 AC. (12.6%)  
PERVIOUS AREA 1.29 AC. (24.2%)  
SUBJECT TO CHANGE AT SITE PLAN REVIEW
  - SETBACKS:  
FRONT (ORLANDO AVE) - 8' FROM SIDEWALK  
SIDES - 0 FEET  
REAR (RAILROAD ROW) - 7.5 FEET
  - MINIMUM ALLOWED LIVING AREA PER UNIT = 500 SF
  - THE CITY OF MAITLAND IS THE POTABLE WATER AND SANITARY SEWER PROVIDER.
  - THE PROJECT LIES WITHIN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FIRM PANEL #12095C0165F, DATED SEPTEMBER 29, 2009.
  - NO MECHANICAL EQUIPMENT SHALL BE VISIBLE FROM STREET/PEDESTRIAN AREAS.
  - STREETSCAPE SHALL MEET CITY STREET TYPE #1 PER THE CITY OF MAITLAND LAND DEVELOPMENT CODE REQUIREMENTS
  - DEVELOPER SHALL MAINTAIN THE STREETSCAPE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT PLAN IN PERPETUITY.
  - THE DEVELOPER IS RESPONSIBLE FOR RELOCATING AND INSTALLING UTILITIES UNDERGROUND.
  - ALL WORK WITHIN THE FDOT ROW WILL REQUIRE A FDOT ROW PERMIT
  - EPOCH PROPERTIES, INC. WILL OWN AND MAINTAIN ALL POTABLE WATER LINES BEYOND THE POINT OF CONNECTION TO THE EXISTING CITY OF MAITLAND WATER SYSTEM. THE CITY OF MAITLAND WILL OWN AND MAINTAIN THE POTABLE WATER METERS ONLY.
  - THE PROPOSED PROJECT WILL BE SPRINKLERED.
  - ROADWAYS WILL BE DESIGNED TO HANDLE THE WEIGHT OF THE FIRE APPARATUS.  
-MINIMUM WEIGHT = 32 TONS (64,000 LBS)
  - PROJECT SIGNAGE SHALL COMPLY WITH SECTION 23-2.8 OF THE LAND DEVELOPMENT CODE.

**SOILS LEGEND**

50 URBAN LAND

NOTE: THE SAME SOIL IS PRESENT THROUGHOUT ENTIRE PROJECT SITE.

**PRE VS POST-DEVELOPMENT AREAS**

PREDEVELOPMENT AREAS	
IMPERVIOUS	= 3.26 AC (61.2%)
PERVIOUS	= 2.07 AC (38.8%)
POSTDEVELOPMENT AREAS**	
ASPHALT/SW/POOL AREA	= 1.55 AC
BUILDINGS	= 2.49 AC
TOTAL IMPERVIOUS	= 4.04 AC (75.8%)
TOTAL PERVIOUS*	= 1.29 AC (24.2%)
**PERVIOUS AREAS INCLUDE ON-SITE AREAS ONLY	
**SUBJECT TO CHANGE AT FINAL SITE PLAN	

**PARKING PROVIDED**

GARAGE	392
SURFACE LOT	56
TOTAL	448

POSSIBLE ACCESS TO SUNRAIL STATION. EXISTING ACCESS EASEMENT IN FAVOR OF SUBJECT SITE ALLOWS ACCESS TO/FROM 17-92

THIS AREA UNDER CONSTRUCTION. NO SURVEY DATA OBTAINED WHILE BUILDINGS WERE BEING DEMOLISHED

H:\Data\14033\eng\CUP\14033 ST-1.dwg Rec: 18, 2014-9-03:55 am



**MADDEN**  
 BOORHEAD & GLUNT, INC.  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 260  
 Maitland, Florida 32751  
 (407) 629-8330

UTILITIES, GRADING, AND  
 DRAINAGE PLAN  
 FOR  
**MAITLAND STATION**  
 FLORIDA  
 KISSIMMEE

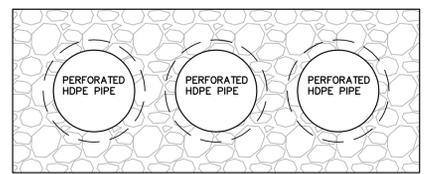
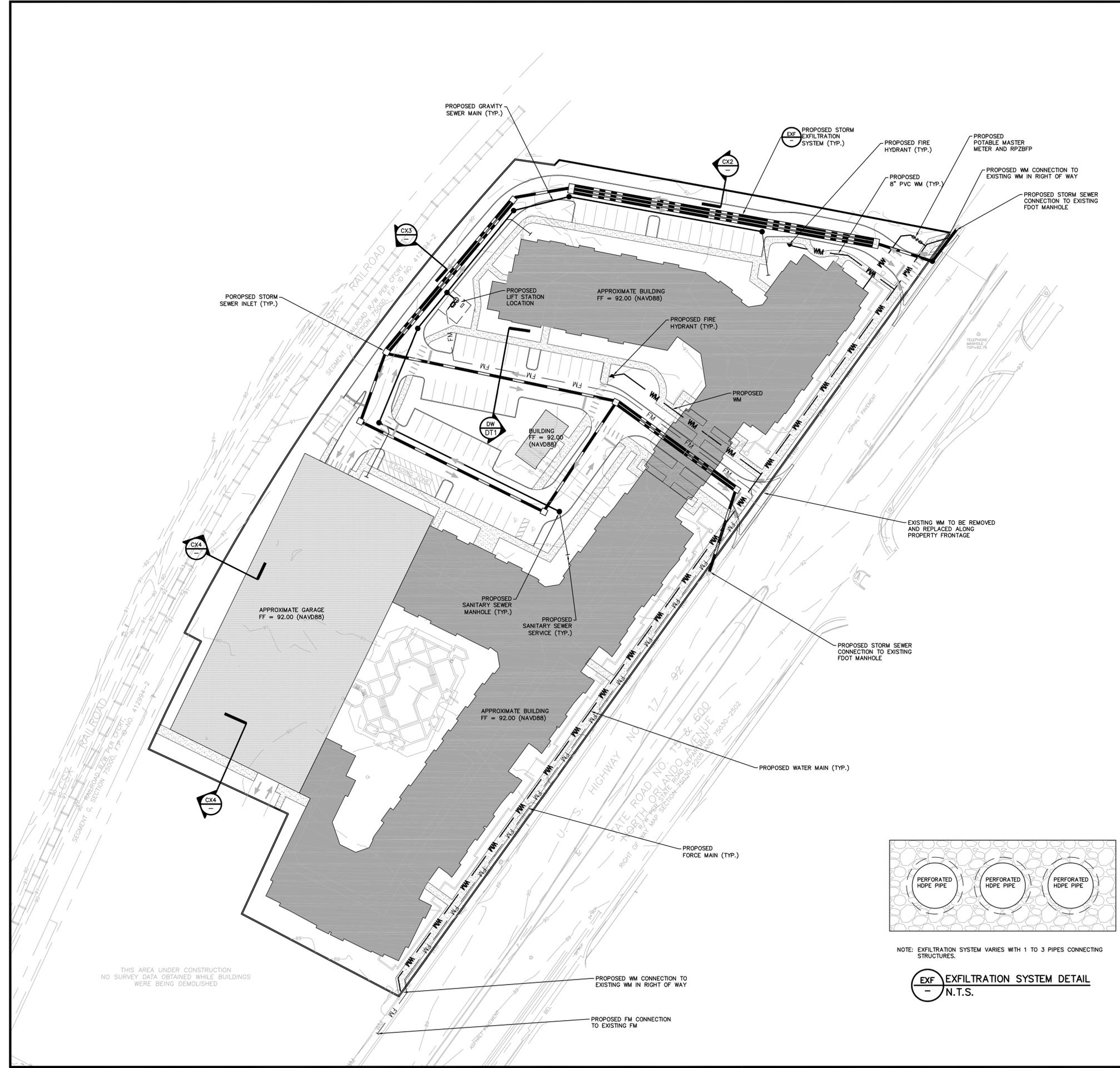
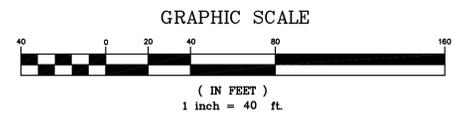
EPOCH PROPERTIES, INC.  
 359 CAROLINA AVE, SUITE 200  
 WINTER PARK, FL 32789  
 (407) 644-9055

ENGINEER IN CHARGE:  
 DAVID A. STOKES P.E. #66527  
 CERTIFICATE OF AUTHORIZATION NO. EB-007723

NO.	DATE	REVISIONS
1	12/01/14	ISSUED PLAN PER CITY RECOMMENDATION
2	12/07/14	REVISED DRAINAGE PLAN PER CITY
3		
4		
5		
6		
7		
8		
9		
10		
11		

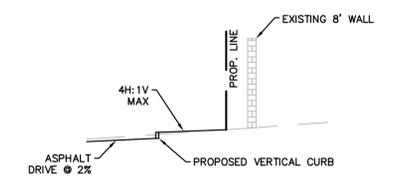
JOB # 14033  
 DATE: 12/1/14  
 SCALE: 1" = 40'  
 DESIGNED BY: DAS  
 DRAWN BY: TRF  
 APPROVED BY: DAS

**UGD-1**

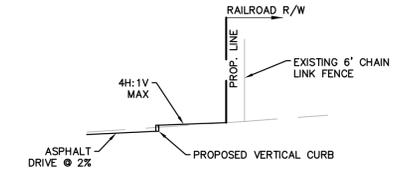


NOTE: EXFILTRATION SYSTEM VARIES WITH 1 TO 3 PIPES CONNECTING STRUCTURES.

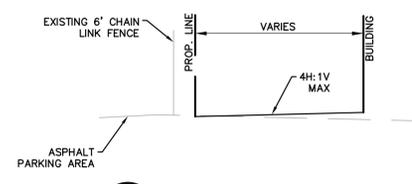
**EXF EXFILTRATION SYSTEM DETAIL**  
 N.T.S.



**CX2 CROSS SECTION**  
 N.T.S.



**CX3 CROSS SECTION**  
 N.T.S.



**CX4 CROSS SECTION**  
 N.T.S.

THIS AREA UNDER CONSTRUCTION  
 NO SURVEY DATA OBTAINED WHILE BUILDINGS  
 WERE BEING DEMOLISHED



**MADDEN**  
 BOORHEAD & GLUNT, INC.  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 260  
 Maitland, Florida 32751  
 (407) 629-8330

**VEHICULAR MOVEMENT PLAN PLAN**  
 FOR  
**MAITLAND STATION**  
 MAITLAND, FLORIDA

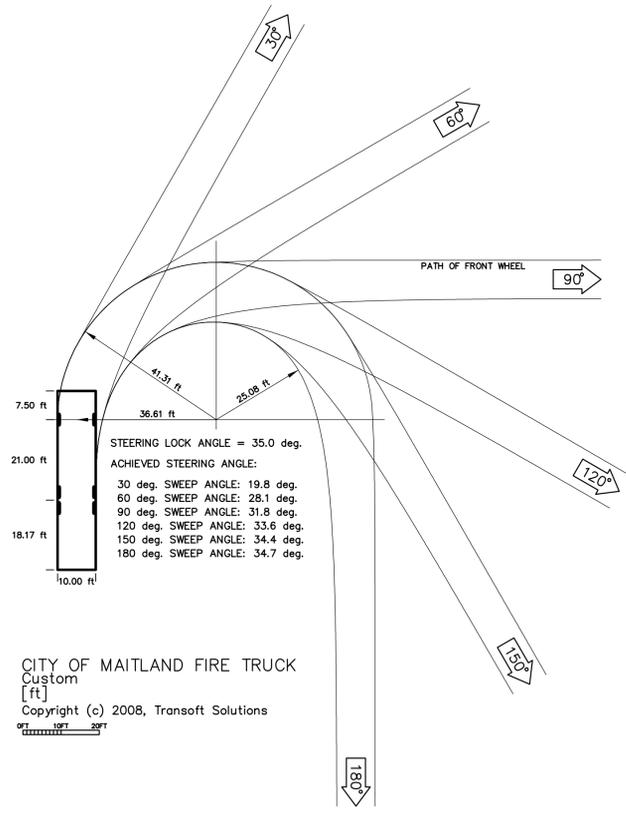
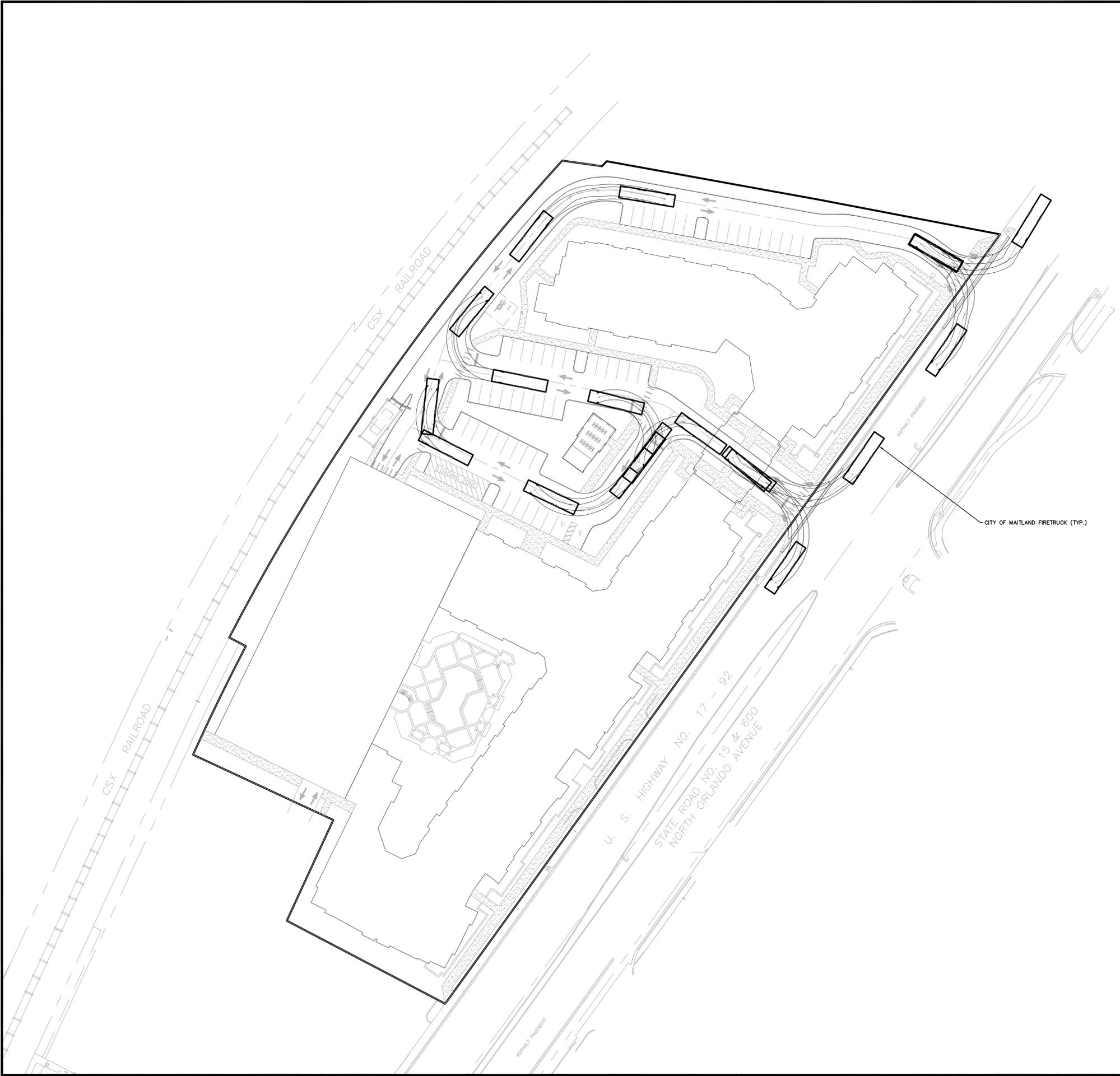
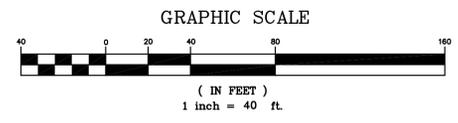
EPOCH PROPERTIES, INC.  
 359 CAROLINA AVE, SUITE 200  
 WINTER PARK, FL 32789  
 (407) 644-9055

ENGINEER IN CHARGE:  
 DAVID A. STOKES P.E. #66527  
 CERTIFICATE OF AUTHORIZATION NO. EB-0007723

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		

JOB # 14033  
 DATE: 12/1/14  
 SCALE: 1" = 40'  
 DESIGNED BY: DAS  
 DRAWN BY: TRF  
 APPROVED BY: DAS

**VM-1**



Date:	12/01/14
Drawn by:	KD
Reviewed by:	ST
Job Number:	21431.4
Revision:	Date:
△	12-12-14

# MAITLAND STATION

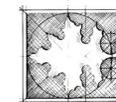
## CODE LANDSCAPE PLANS

Prepared For EPOCH PROPERTIES  
DECEMBER 1, 2014

△1 Revised December 12, 2014

△2 Revised December 18, 2014

MAITLAND STATION  
Maitland, Florida  
EPOCH PROPERTIES  
359 Carolina Avenue, Winter Park, Florida 32789



DIX, HITE  
& PARTNERS  
150 W. JESSUP AVENUE  
LOVELL, CO 80120  
TEL: 407.867.1777  
FAX: 407.867.1779

CODE LANDSCAPE PLANS

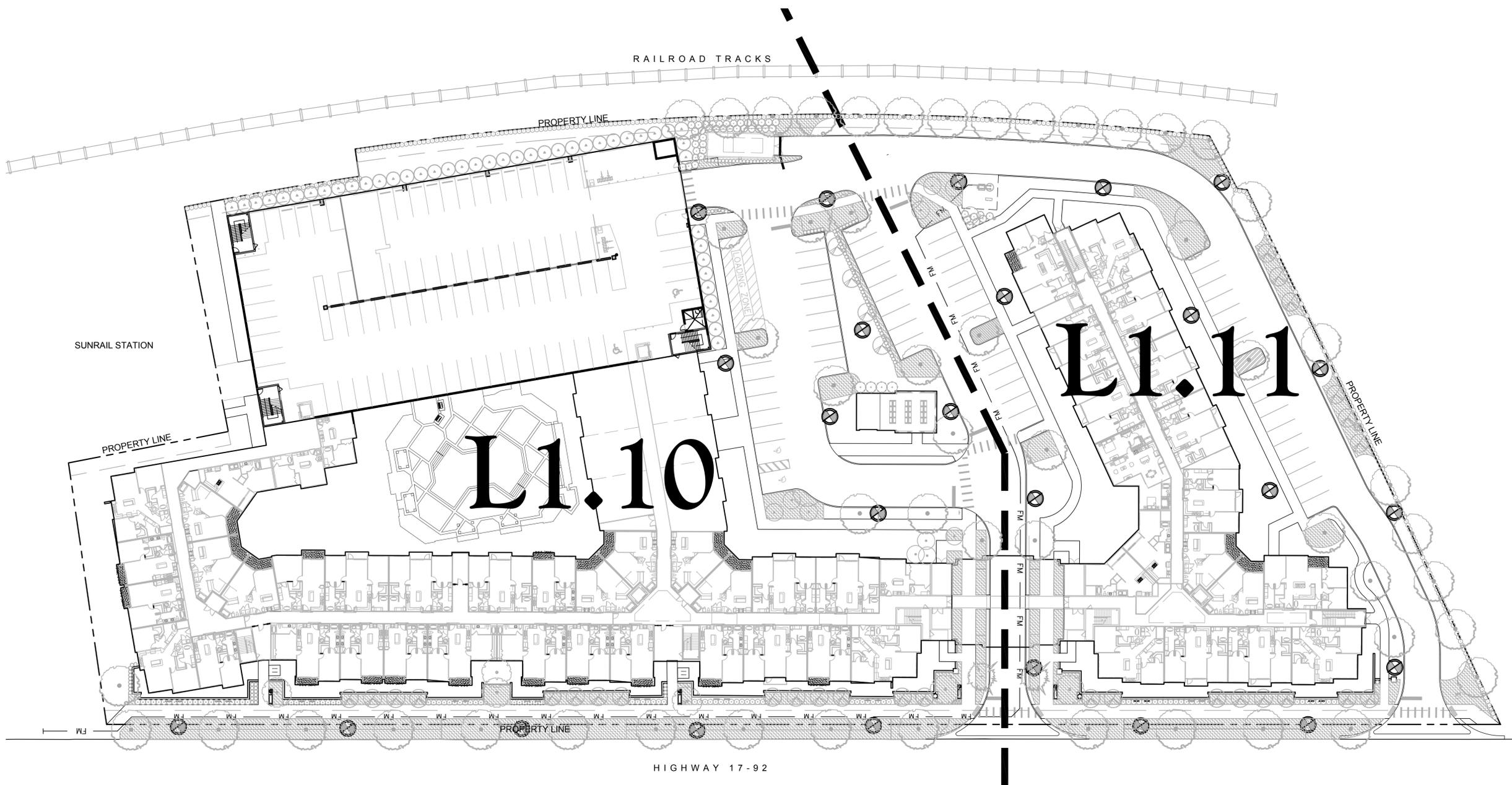
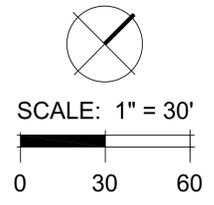
Cover Sheet

### TABLE OF CONTENTS

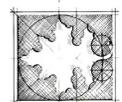
SHEET NUMBER	SHEET NAME
L1.00	KEY SHEET
L1.10 - L1.11	SITE CODE LANDSCAPE
L2.00	LANDSCAPE DETAILS
L3.00	LIGHTING/SIGNAGE/SITE FURNISHING PLAN
L3.01	LIGHTING/SIGNAGE/SITE FURNISHING DETAILS
L3.02	STREETSCAPE CROSS SECTIONS
L4.00	LANDSCAPE SPECIFICATIONS

Sheet Number:

Date:	12/01/14
Drawn by:	KD
Reviewed by:	ST
Job Number:	21431.4
Revision:	Date:



MAITLAND STATION  
Maitland, Florida  
EPOCH PROPERTIES  
359 Carolina Avenue, Winter Park, Florida 32789

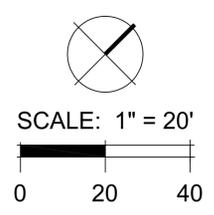
  
DIX, HITE  
+ PARTNERS  
150 W. JESSUP AVENUE  
LOVELL, COLO. 80540  
TEL: 407.867.1775  
FAX: 407.867.1775

CODE LANDSCAPE PLANS

Key Sheet

Sheet Number:  
**L1.00**

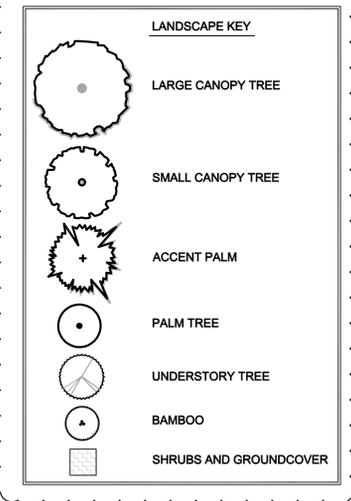
Date:	12/01/14
Drawn by:	KD
Reviewed by:	ST
Job Number:	21431.4
Revision:	Date:
1	12-18-14



RAILROAD TRACKS

PROPERTY LINE

DEPTH OF PROVIDED BUFFER YARD: 10'  
 TREES - MIN. 4 TREES PER 100 LINEAL FEET  
 ((4/100)607) = REQUIRED 25, PROVIDED 13 CANOPY TREES & 35 BAMBOO  
 SHRUBS - MIN. 60 SHRUBS PER 100 LINEAL FEET  
 ((60/100)607) - 365 SHRUBS, PROVIDED 366 SHRUBS, MAX. 30" SPACING AT INSTALLATION

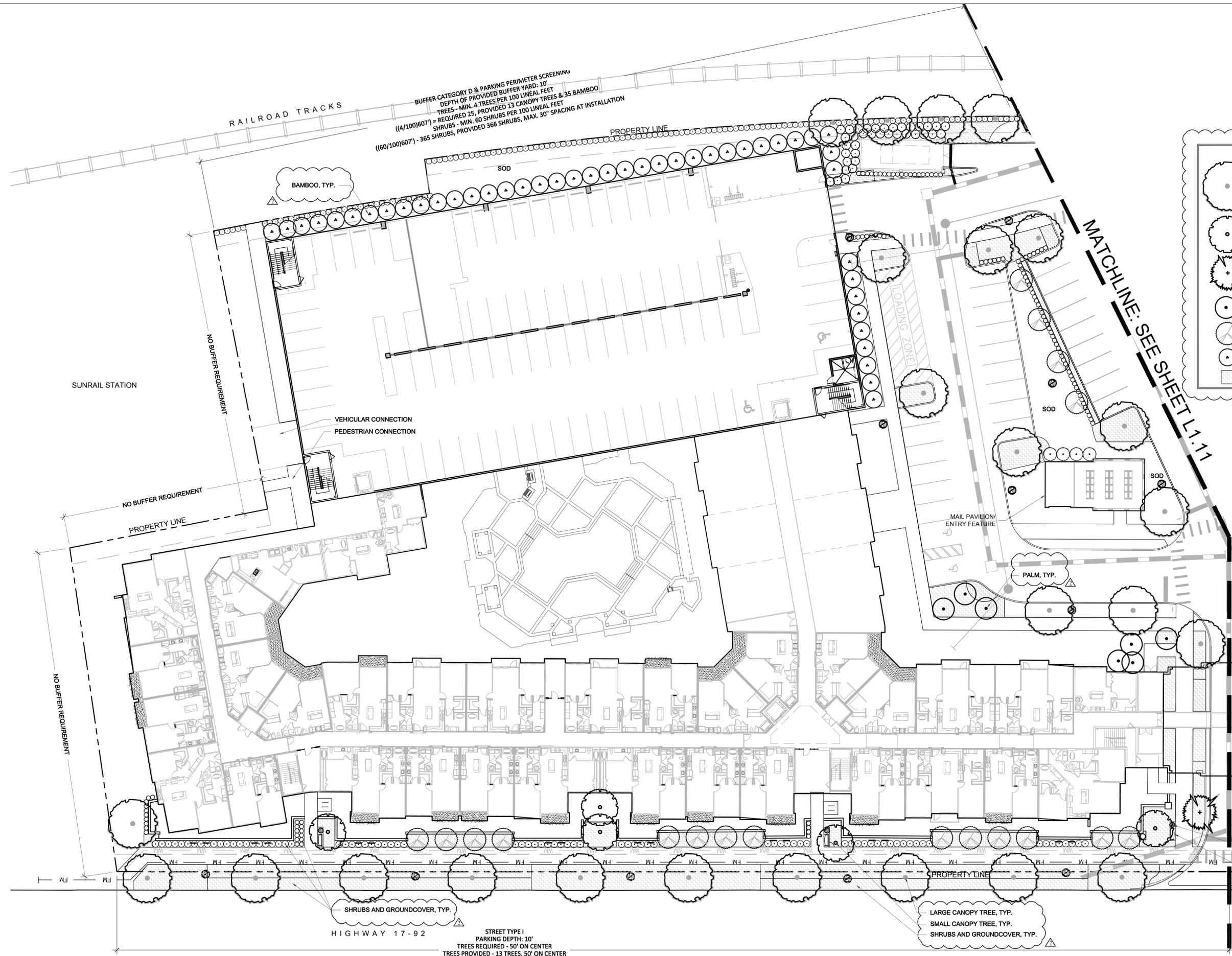


MAITLAND STATION  
 Maitland, Florida  
 EPOCH PROPERTIES  
 359 Carolina Avenue, Winter Park, Florida 32789

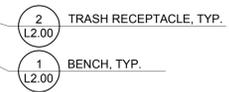
DIX, HITE  
 PARTNERS  
 150 W. JESSUP AVENUE  
 LOVELL, CO. 80540  
 TEL: 303.467.1770  
 FAX: 303.467.1775

CODE LANDSCAPE PLANS  
 Site Code Landscape

Sheet Number:  
**L1.10**



MATCHLINE: SEE SHEET L1.11



STREET TYPE I  
 PARKING DEPTH: 10'  
 TREES REQUIRED - 50' ON CENTER  
 TREES PROVIDED - 13 TREES, 50' ON CENTER  
 SHRUBS REQUIRED - 100% COVERAGE  
 SHRUBS PROVIDED - 100% COVERAGE

LARGE CANOPY TREE, TYP.  
 SMALL CANOPY TREE, TYP.  
 SHRUBS AND GROUNDCOVER, TYP.

SUNRAIL STATION

NO BUFFER REQUIREMENT

NO BUFFER REQUIREMENT

NO BUFFER REQUIREMENT

PROPERTY LINE

VEHICULAR CONNECTION  
 PEDESTRIAN CONNECTION

LOADING ZONE

MAIL PAVILION  
 ENTRY FEATURE

PALM, TYP.

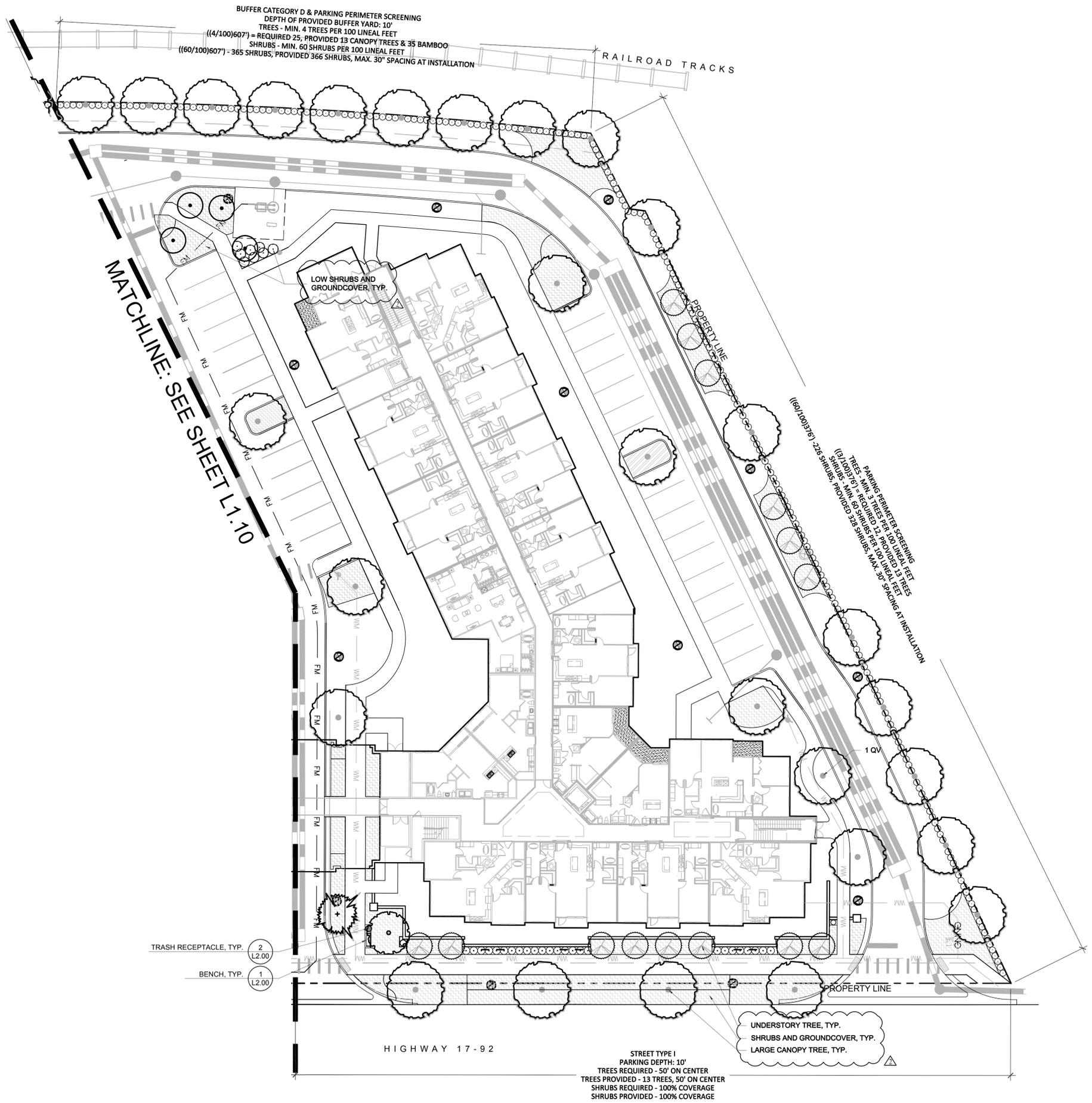
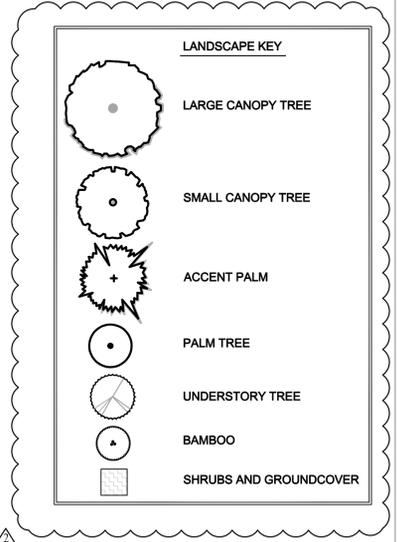
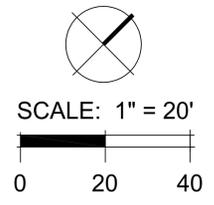
BAMBOO, TYP.

SHRUBS AND GROUNDCOVER, TYP.

HIGHWAY 17-92

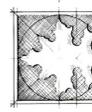
PROPERTY LINE

Date:	12/01/14
Drawn by:	KD
Reviewed by:	ST
Job Number:	21431.4
Revision:	Date:
1	12-18-14



**MAITLAND STATION**  
 Maitland, Florida

**EPOCH PROPERTIES**  
 359 Carolina Avenue, Winter Park, Florida 32789

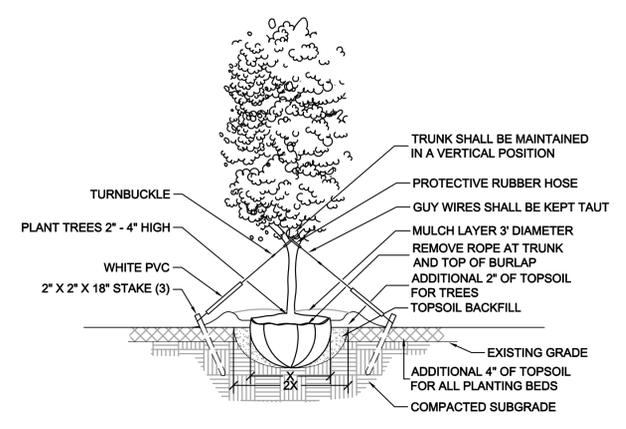


**DIX. HITE**  
 \* PARTNERS  
 150 W. JESSUP AVENUE  
 LOVELL, CO. 80540  
 TEL: 407.867.1775  
 FAX: 407.867.1775

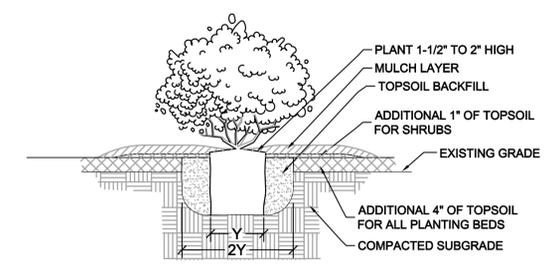
**CODE LANDSCAPE PLANS**

Site Code Landscape

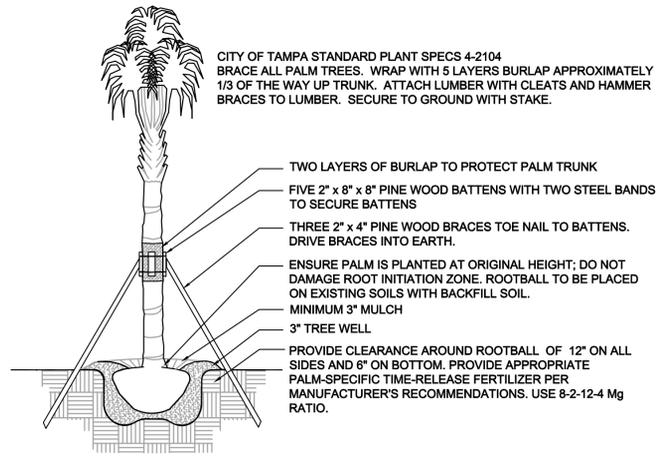
Sheet Number:  
**L1.11**



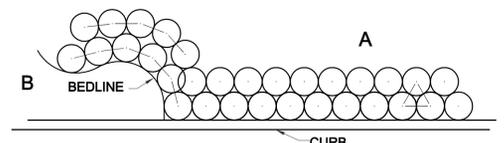
TYPICAL TREE PLANTING  
 CROSS SECTION - N.T.S.



TYPICAL SHRUB PLANTING  
 CROSS SECTION - N.T.S.



TYPICAL PALM PLANTING  
 CROSS SECTION - N.T.S.



- A SHRUBS AND GROUNDCOVERS ADJACENT TO STRAIGHT EDGES SHALL BE TRIANGULAR - SPACED IN ROWS PARALLEL TO THE STRAIGHT EDGE.
- B SHRUBS AND GROUNDCOVERS ADJACENT TO CURVED EDGES SHALL BE PLANTED IN ROWS PARALLEL TO THE CURVED EDGE. CURVED EDGES TO BE VERY SMOOTH RADII.

TYPICAL SHRUB LAYOUT  
 PLAN - N.T.S.

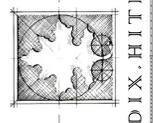
**LANDSCAPE NOTES**

1. CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES SET FORTH IN THESE LANDSCAPE NOTES AND IN THE LANDSCAPE SPECIFICATIONS. THEY WILL BE STRICTLY ENFORCED BY THE OWNER/LA.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER ACCORDING TO THE CURRENT NURSERY GRADES AND STANDARDS.
3. ALL PLANT BEDS SHALL BE DRESSED WITH 3" LAYER OF MULCH. ALL OTHER AREAS SHALL RECEIVE SOD (SEE PLAN FOR TYPE).
4. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO INSTALLATION.
5. ALL PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LAYOUTS AND TREE LOCATIONS PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL, CONTRACTOR WILL BE SUBJECT TO RELOCATING THE MATERIAL AT THE LANDSCAPE ARCHITECT'S REQUEST AND THE CONTRACTOR'S OWN EXPENSE.
7. ALL SHRUBS SHALL BE PLANTED 1-1/2" AND TREES 2-1/2" ABOVE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT HEALTH IN ON-SITE SOILS.
8. CONTRACTOR SHALL PERFORM SOIL TESTING PRIOR TO CONSTRUCTION (1) TO DETERMINE NUTRIENT STATUS AND PH OF SOIL AND 2) TO DETERMINE THE SOIL TEXTURE IN THE TOP 6" - 12" OF SOIL, AND THEN AMEND THE SOIL BASED ON THE RESULTS OF THE TESTS. SEE THE LANDSCAPE SPECIFICATIONS FOR MORE INFORMATION..
9. CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING. GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
10. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
11. CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL BID ITEMS
12. SOIL SHALL BE FREE FROM LIME ROCK AND CONSTRUCTION DEBRIS.
13. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE PLAN VS. QUANTITIES SHOWN ON THE PLANT LIST, THE PLAN SHALL CONTROL.
14. CONTRACTOR SHALL MAINTAIN TREES IN A STRAIGHT AND PLUMB POSITION FOR ONE YEAR. CONTRACTOR SHALL STAKE ALL TREES IF REQUIRED BY THE JURISDICTION.
15. PRIOR TO REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRIERS.
16. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFFS AND QUANTITIES. THE QUANTITIES ON THE PLANT LIST SERVE ONLY AS A GUIDE TO THE OWNER AND L.A. THIS INCLUDES SOD AND MULCH QUANTITIES OF WHICH THE CONTRACTOR SHALL BE HELD TO BID QUANTITIES.
17. SUCCESSFUL BIDDER SHALL LOCK UP ALL MATERIALS IMMEDIATELY AFTER CONTRACT ASSIGNMENT. PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO INSTALLATION TO ALLOW ADDITIONAL GROWTH. ALL PLANTS WILL BE REQUIRED TO BE FULL AND HEALTHY. CONTRACTOR SHALL ARRANGE FOR PLANT APPROVAL PRIOR TO DELIVERY, EITHER BY SAMPLES, PHOTOS, OR NURSERY VISITS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR WARRANTY OF HEALTH OF PLANTS IN ON-SITE SOILS. IF, DURING DIGGING, CONTRACTOR DISCOVERS WATER-LOGGED, CLAYEY, COMPACTED OR SIMILARLY POORLY DRAINED SOILS, IT SHOULD BE BROUGHT TO THE ATTENTION OF OWNER/LANDSCAPE ARCHITECT FOR REMEDIAL ACTION.
19. CONTRACTOR SHALL ANTICIPATE THE FIRST FIVE FEET AROUND BUILDING PERIMETER WILL BE COMPACTED AND FOUNDATION BEDS SHOULD BE TILLED AND IMPROVED TO SUSTAIN VIGOROUS, HEALTHY PLANT GROWTH.

Parker Lumber Code Plant List					12/18/2014
Quantity	Symbol	Botanical Name	Common Name	Size & Specification	
<b>59 Trees</b>					
ea	MG	<i>Magnolia grandiflora</i>	Magnolia	100 Gal., 10'-22" Ht. x Min. 5'-6" Spd., 4" Cal., Full	
ea	QV	<i>Quercus virginiana "Seedling"</i>	Live Oak	100 Gal., 12'-13" Ht. x Min. 7'-8" Spd., 4" Cal., Full	
ea	UP	<i>Ulmus parvifolia "Drake"</i>	Drake Elm	65 Gal., 9'-22" Ht. x 6' Spd. Min. ; 4" cal., 5' c.t., Full	
<b>14 Palms</b>					
ea	SP	<i>Sabal palmetto</i>	Sabal Palm	Not Hurricane Cut, 5-7 Leaves Min., 8'-16' C.T., See Plans For Sizes, 36" Min. Dia. Root Ball, Clean Trunks, 15' Min. Dia. Trunk, Boots Saved Just Below Crown, Clean Trunk	
ea	PS	<i>Phoenix sylvestris</i>	Date Palm	12' C.T., Full Head, Diamond Cut Trunks	
<b>83 Understory Trees</b>					
ea	BM	<i>Bambusa textilis "Gracilis"</i>	Slender Weaver Bamboo	15'-18" Ht., Full	
ea	IO	<i>Ilex Oak Leaf</i>	Oak Leaf Holly	30 Gal., 6'-7" Ht., Full, No gaps	
ea	LI	<i>Lagerstroemia indica "Natchez"</i>	Natchez Crape Myrtle	65 gal., 12' Ht. x 6' Spd., 3" Cal., MLT	
<b>3371 Shrubs/Groundcover</b>					
ea	ADM	<i>Asparagus densiflorus "Myers"</i>	Foxtail Fern	1 Gal., 18" O.C.	
ea	AE	<i>Aspidistra elatior</i>	Cast Iron Plant	3 gal. 15" O.C., Full	
ea	BF	<i>Bulbine frutescens "Hallmark"</i>	Orange Bulbine	1 gal., Full, 18" O.C.	
ea	FK	<i>Tripsacum floridana</i>	Fakahatchee Grass	3 gal., 30" Ht., Full, 4 O.C.	
ea	HP	<i>Hamelia patens "Compacta"</i>	Dwarf Firebush	3 Gal., 12" Ht. x 14" Spd., Full, 36" O.C.	
ea	IVN	<i>Ilex vomitoria "Nana"</i>	Dwarf Yaupon Holly	3 gal., 12" Ht. x 15" Spd., 30" O.C.	
ea	KOR	<i>Rosa "Knockout"</i>	Knockout Rose	3 gal., 24" x 24", Full, 30" O.C.	
ea	MC	<i>Muhlenbergia capillaris</i>	Muhly Grass	3 Gal., Full, 36" O.C. (30" O.C. in NE buffer yard)	
ea	MF	<i>Myrcianthes fragrans</i>	Simpson Stopper	3 Gal., 24" x 24", Full, 30" O.C.	
ea	MS	<i>Mimosa strigillosa</i>	Sunshine Mimosa	1 Gal., Full, 30" O.C.	
ea	PM	<i>Podocarpus macrophyllus</i>	Podocarpus	7 gal., 3' Ht., Full & bushy top to ground, 24" O.C.	
ea	RE	<i>Rhapis excelsa</i>	Lady Palm	15 gal. 5'-6" Ht.; Full and bushy to ground	
ea	RI	<i>Rhaphiolepis indica</i>	Indian Hawthorn	3 Gal., 15" Ht. x 18" Spd., Full, 30" O.C.	
ea	SAW	<i>Serenoa repens</i>	Saw Palmetto	3 Gal., 15"x15", Min. 3 leaves, 36" O.C.	
ea	ZF	<i>Zamia Furfuracea</i>	Cardboard Plant	15 Gal., 36" x 42" Spd., Full	
ea	ZP	<i>Zamia pumila</i>	Coontie	7 gal., 18"-20" Ht. x 18"-20" Spd., 30" O.C.	

MAITLAND STATION  
 Maitland, Florida

EPOCH PROPERTIES  
 359 Carolina Avenue, Winter Park, Florida 32789

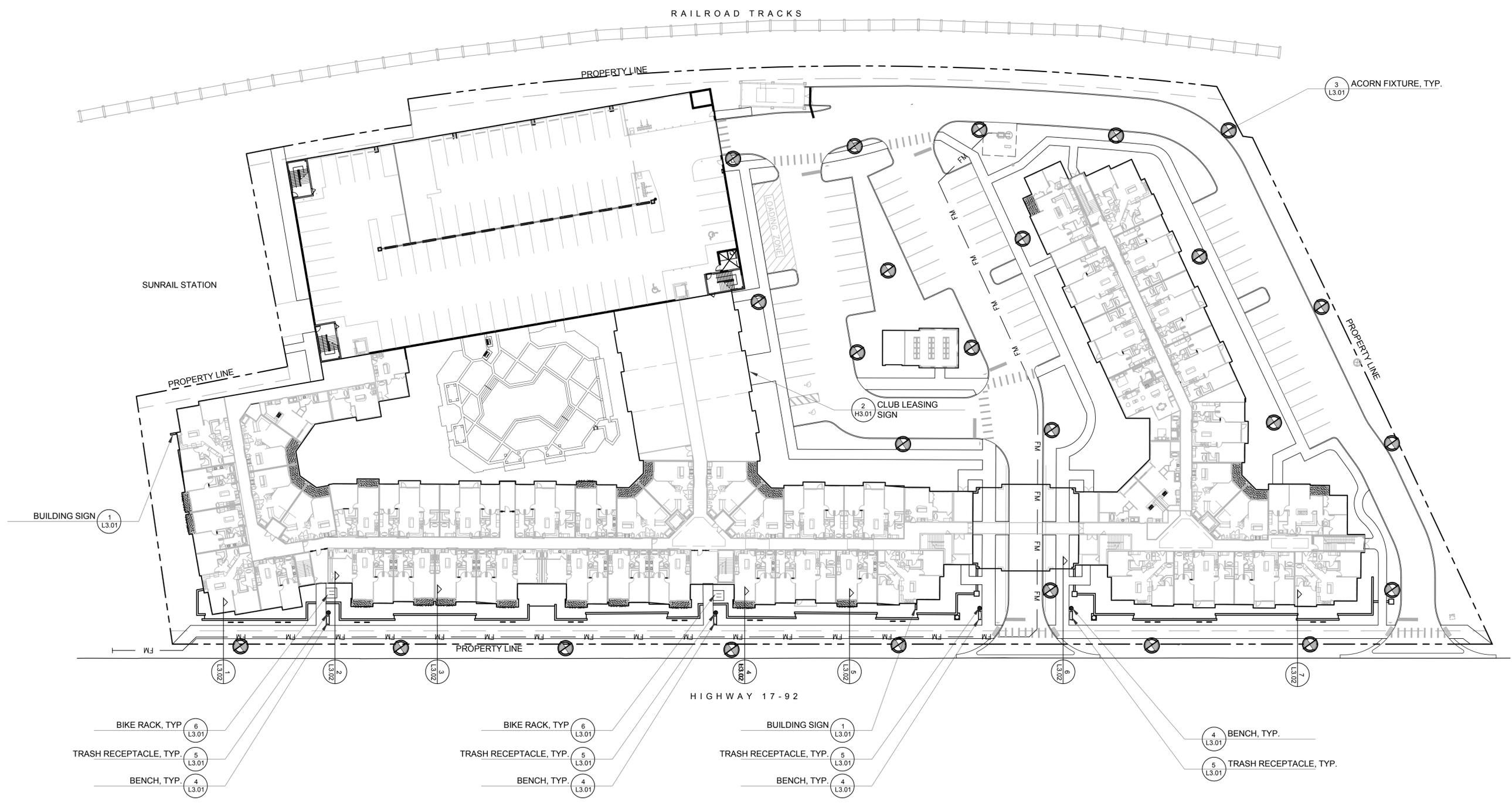
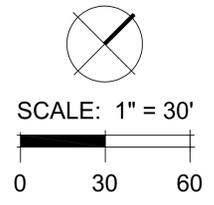


DIX, HITE  
 & PARTNERS  
 150 W. JESSUP AVENUE  
 LOVELL, CO. 80111  
 TEL: 407.667.1770  
 FAX: 407.667.1779

CODE LANDSCAPE PLANS

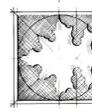
Details and Plant List

Date:	12/01/14
Drawn by:	KD
Reviewed by:	ST
Job Number:	21431.4
Revision:	Date:
△	12-12-14



**MAITLAND STATION**  
Maitland, Florida

**EPOCH PROPERTIES**  
359 Carolina Avenue, Winter Park, Florida 32789

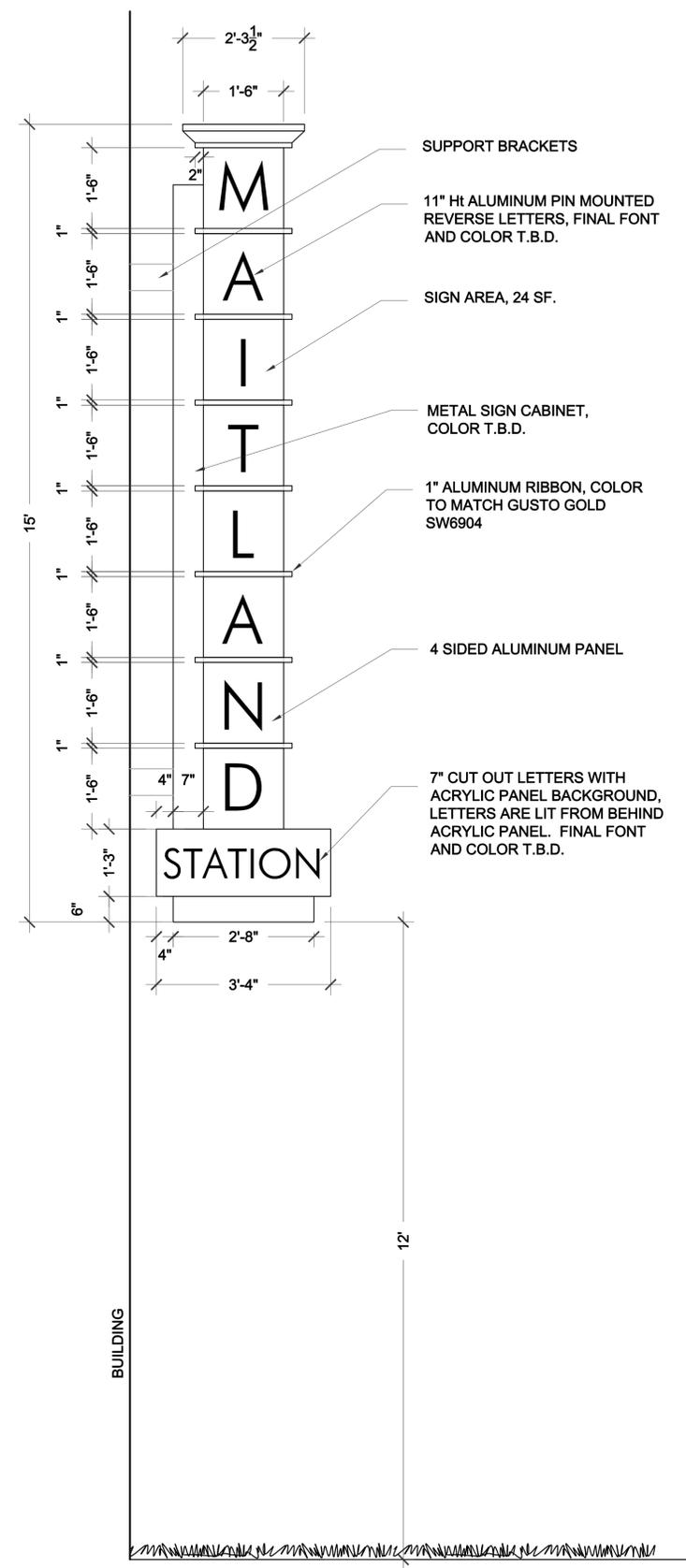


**DIX, HITE**  
4 PARTNERS  
150 W. JESSUP AVENUE  
LOVELL 407.667.1775  
FAX 407.667.1775

**CODE LANDSCAPE PLANS**  
Lighting/Signage/Site Furnishings

Sheet Number:  
**L3.00**

Date:	12/01/14
Drawn by:	KD
Reviewed by:	ST
Job Number:	21431.4
Revision:	Date:
△	12-12-14



SUPPORT BRACKETS

11" Ht ALUMINUM PIN MOUNTED REVERSE LETTERS, FINAL FONT AND COLOR T.B.D.

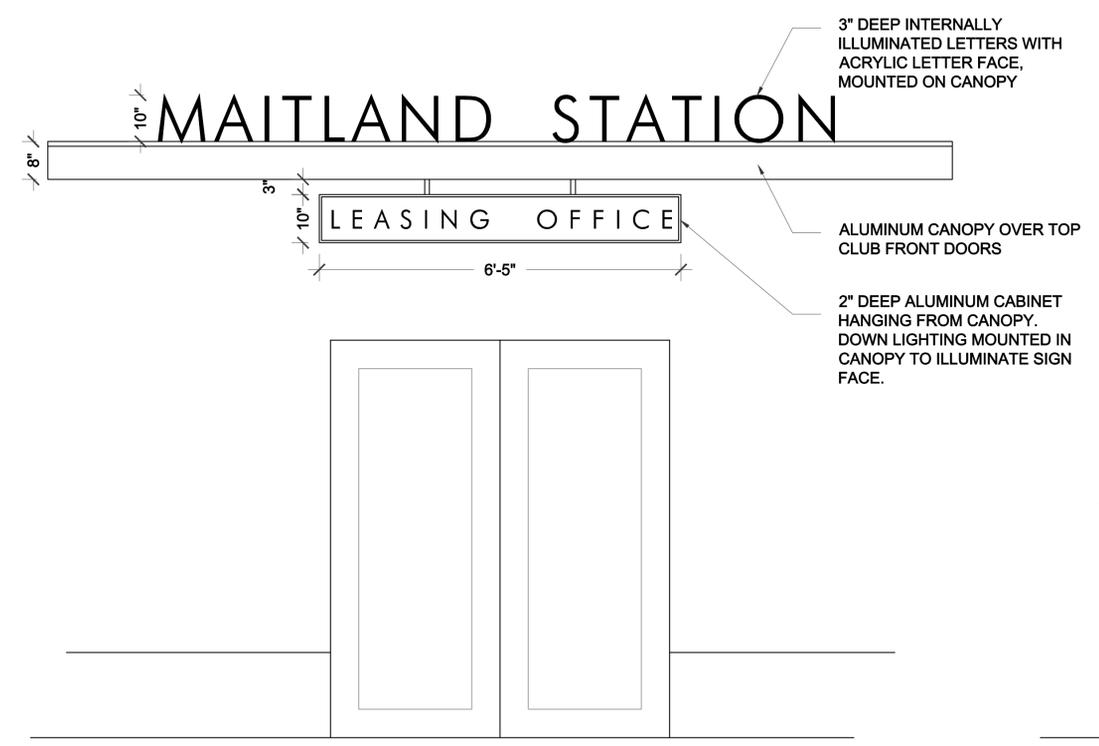
SIGN AREA, 24 SF.

METAL SIGN CABINET, COLOR T.B.D.

1" ALUMINUM RIBBON, COLOR TO MATCH GUSTO GOLD SW6904

4 SIDED ALUMINUM PANEL

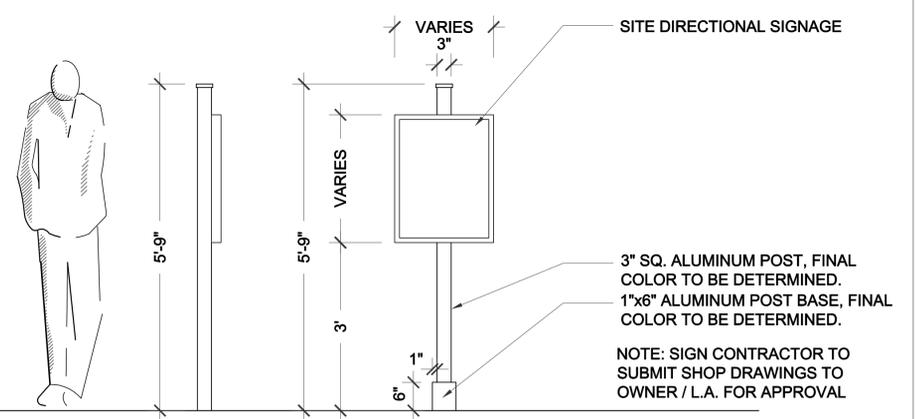
7" CUT OUT LETTERS WITH ACRYLIC PANEL BACKGROUND, LETTERS ARE LIT FROM BEHIND ACRYLIC PANEL. FINAL FONT AND COLOR T.B.D.



3" DEEP INTERNALLY ILLUMINATED LETTERS WITH ACRYLIC LETTER FACE, MOUNTED ON CANOPY

ALUMINUM CANOPY OVER TOP CLUB FRONT DOORS

2" DEEP ALUMINUM CABINET HANGING FROM CANOPY. DOWN LIGHTING MOUNTED IN CANOPY TO ILLUMINATE SIGN FACE.



SITE DIRECTIONAL SIGNAGE

VARIES

VARIES

3" SQ. ALUMINUM POST, FINAL COLOR TO BE DETERMINED.

1"x6" ALUMINUM POST BASE, FINAL COLOR TO BE DETERMINED.

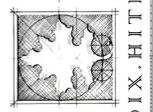
NOTE: SIGN CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER / L.A. FOR APPROVAL

2 L3.01 CLUB LEASING/DIRECTIONAL SIGNAGE

MAITLAND STATION  
Maitland, Florida

EPOCH PROPERTIES  
359 Carolina Avenue, Winter Park, Florida 32789

DIX, HITE  
4 PARTNERS  
150 W. JESSUP AVENUE  
LOVELL, COLO. 80540  
TEL: 407.667.1770  
FAX: 407.667.1775



CODE LANDSCAPE PLANS

Signage/Lighting/Site Furnishing Details

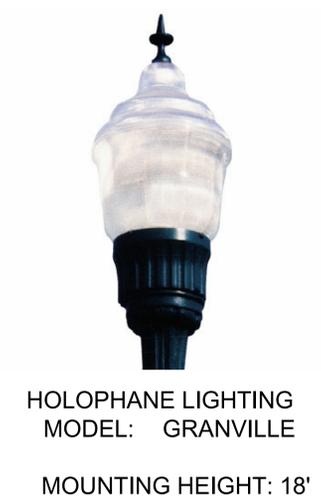
1 L3.01 BUILDING SIGN

3 L3.01 ACORN FIXTURE

4 L3.01 BENCH

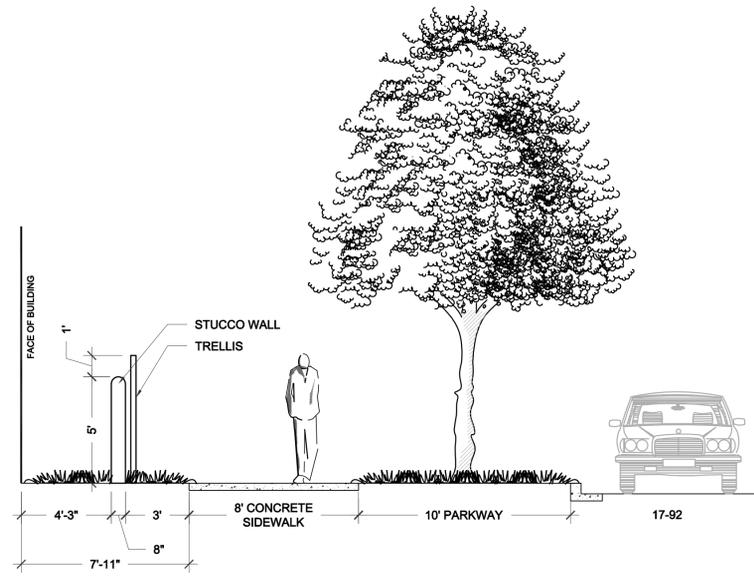
5 L3.01 TRASH RECEPTACLE

6 L3.01 BIKE RACK

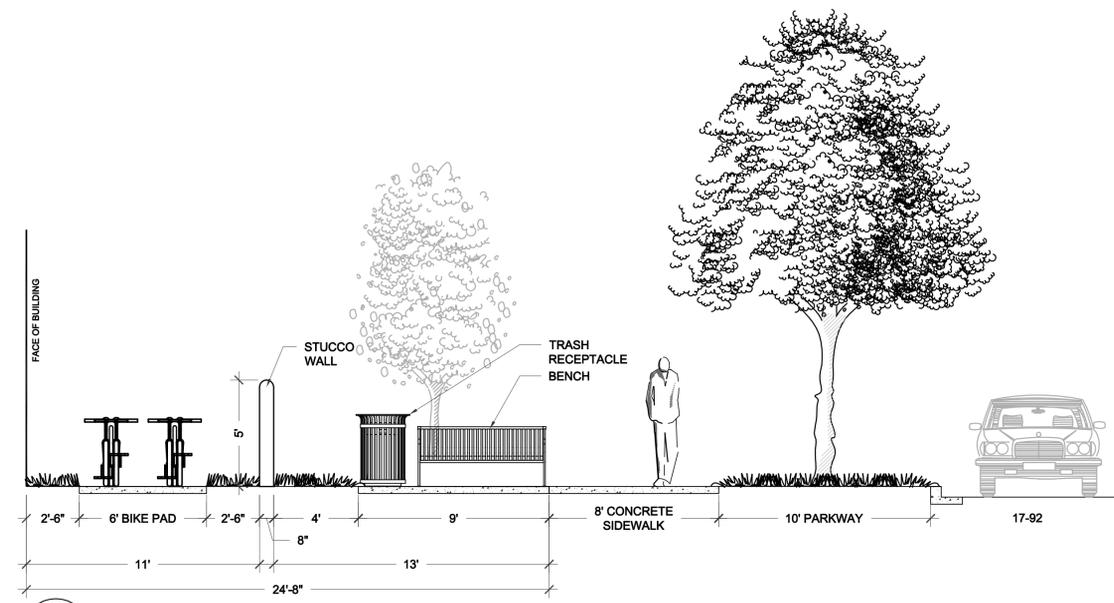


Sheet Number:  
**L3.01**

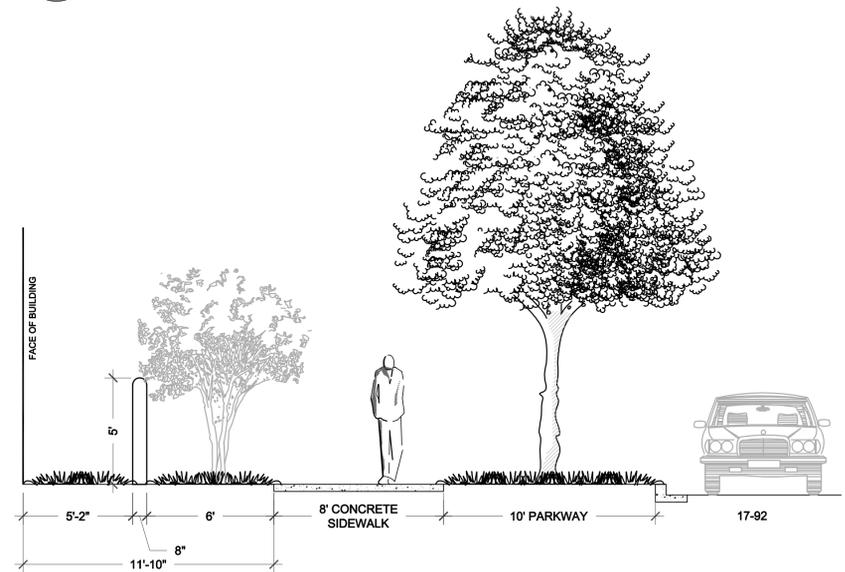
Date:	12/01/14
Drawn by:	KD
Reviewed by:	ST
Job Number:	21431.4
Revision:	Date:
△	12-12-14



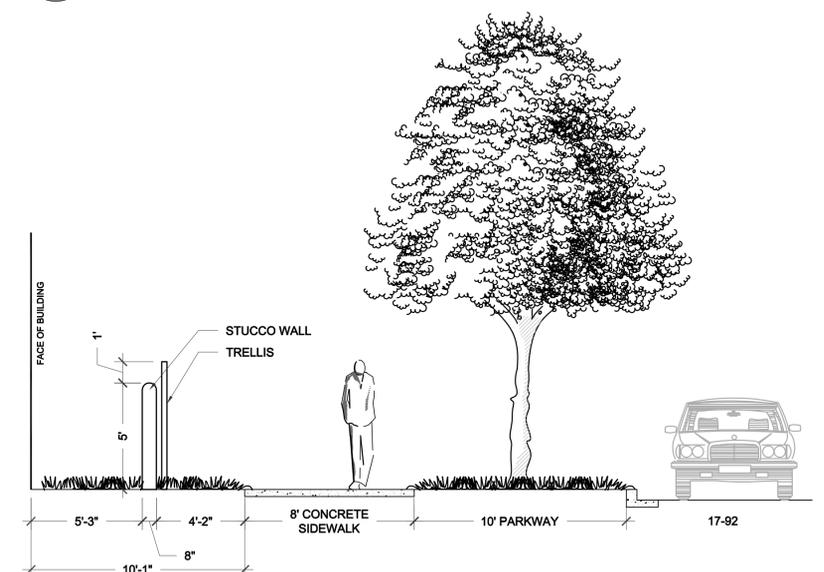
1 CROSS SECTION '1'  
L3.02 SCALE: 1/4" = 1' - 0"



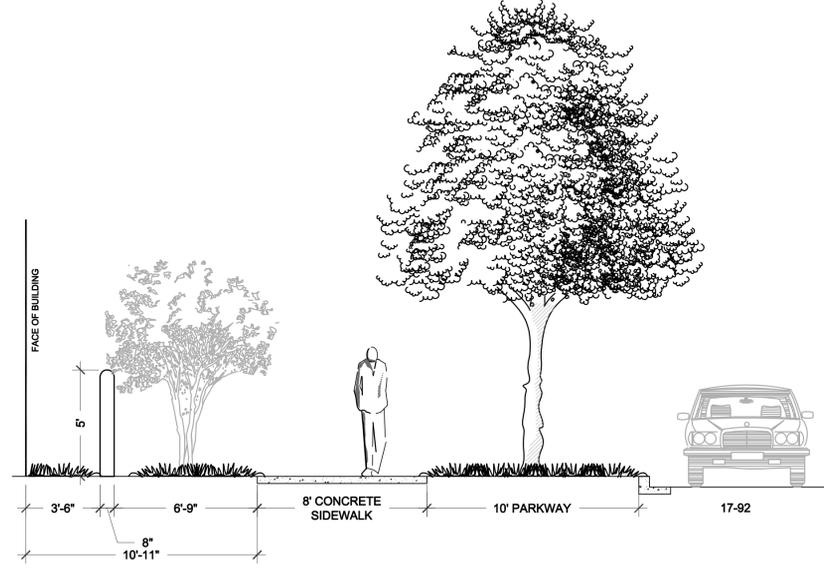
2 CROSS SECTION '2'  
L3.02 SCALE: 1/4" = 1' - 0"



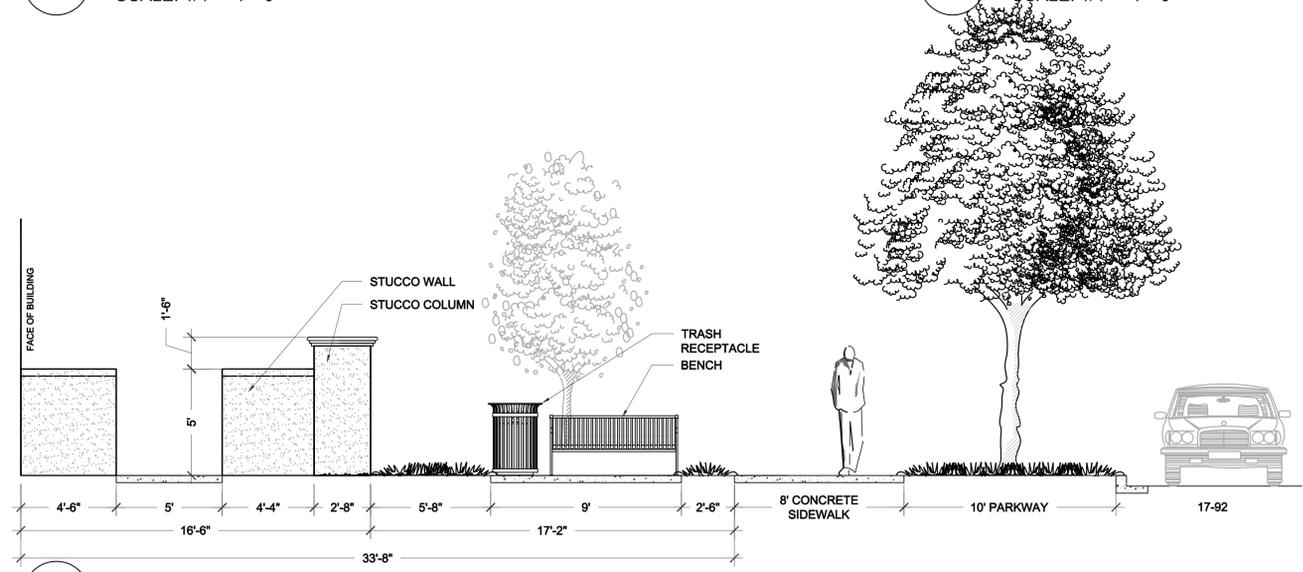
3 CROSS SECTION '3'  
L3.02 SCALE: 1/4" = 1' - 0"



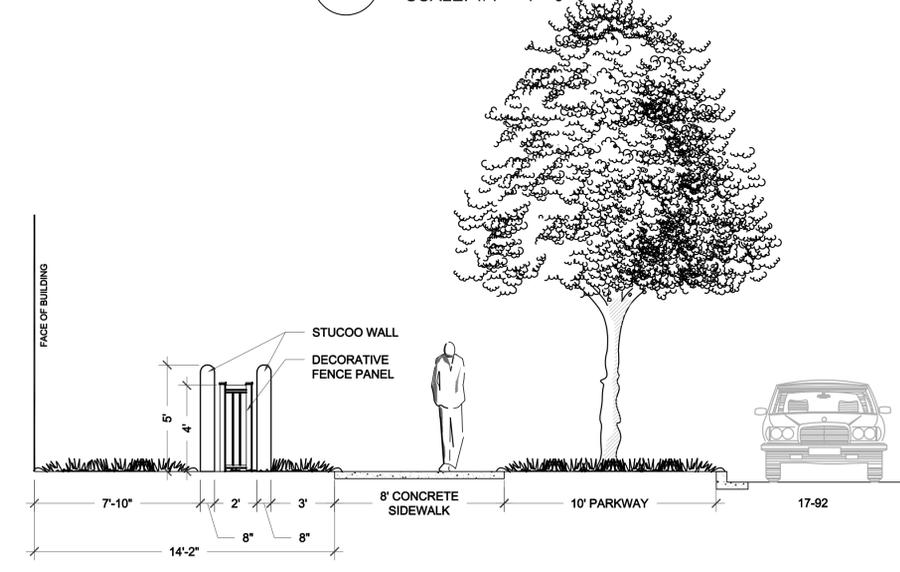
4 CROSS SECTION '4'  
L3.02 SCALE: 1/4" = 1' - 0"



5 CROSS SECTION '5'  
L3.02 SCALE: 1/4" = 1' - 0"



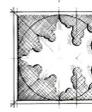
6 CROSS SECTION '6'  
L3.02 SCALE: 1/4" = 1' - 0"



7 CROSS SECTION '7'  
L3.02 SCALE: 1/4" = 1' - 0"

MAITLAND STATION  
Maitland, Florida

EPOCH PROPERTIES  
359 Carolina Avenue, Winter Park, Florida 32789



DIX HITE  
ARCHITECTS  
150 W. JESSUP AVENUE  
LOVELL, CO. 80540  
TEL: 303.667.1775  
FAX: 303.667.1775

CODE LANDSCAPE PLANS

Streetscape Cross Sections

Sheet Number:  
**L3.02**

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL  
1.01 WORK INCLUDED

A. THE WORK INCLUDED IN THIS SECTION CONSISTS OF FURNISHING, PLANTING, WATERING, FERTILIZING AND MULCHING ALL PLANTS AND LAWN AREAS OF THE SPECIES, SIZE AND QUALITY IN THE LOCATIONS INDICATED ON THE DRAWINGS OR AS DISCUSSED WITH THE LANDSCAPE ARCHITECT.

1.02 DELIVERY, STORAGE AND HANDLING

A. TRANSPORTATION AND INSPECTION: PLANT TRANSPORTATION SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS.

1.03 GUARANTEE

A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTING WORK FOR A PERIOD OF SIX MONTHS AND ALL SOD FOR THREE MONTHS AFTER THE DATE OF FINAL ACCEPTANCE. DURING THIS PERIOD, THE LANDSCAPE CONTRACTOR SHALL CONTINUE THE OBSERVATION OF PLANTS AND GUARANTEED WORK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT MONTHLY OBSERVATION REPORTS TO THE OWNERS WITH A COPY TO THE LANDSCAPE ARCHITECT DURING THE GUARANTEE PERIOD. THE PURPOSE OF THESE REPORTS IS TO STATE ANY MAINTENANCE DEFICIENCIES OBSERVED. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO REPORT THESE TO PROTECT HIS GUARANTEE. FAILURE TO SUBMIT REPORTS ELIMINATES ANY CLAIMS THAT THE GUARANTEE IS NOT VALID DUE TO IMPROPER MAINTENANCE BY THE OWNER.

B. REPLACEMENT OF DEFECTIVE PLANTS: ANY DEAD PLANTS OR PLANTS SHOWING INDICATION OF PROBABLE NO-SURVIVAL OR LACK OF HEALTH AND VIGOR, OR WHICH DO NOT EXHIBIT THE CHARACTERISTICS TO MEET SPECIFICATIONS, SHALL BE REPLACED WITHIN TWO WEEKS OF NOTICE FROM OWNER OR LANDSCAPE ARCHITECT. ALL REPLACEMENT PLANTS SHALL BE FURNISHED/INSTALLED AT NO ADDITIONAL COST TO THE OWNER AND SHALL BE GUARANTEED FOR SIX MONTHS. ALL REPLACEMENTS SHALL MEET ORIGINAL SPECIFICATIONS.

C. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT TEN DAYS PRIOR TO THE END OF THE GUARANTEE PERIOD AND SUCH GUARANTEE SHALL BE EXTENDED UNTIL NOTIFICATION IS RECEIVED.

D. AT THE END OF THE GUARANTEE PERIOD, ALL PLANTS THAT ARE DEAD OR UNSATISFACTORY SHALL BE REPLACED WITHIN TWO WEEKS.

1.04 JOB CONDITIONS

A. PROTECTION: THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSES AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE NEGLIGENCE IN THE PROSECUTION OF THE WORK.

B. EXISTING CONDITIONS:

1. THE LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING WORK, INCLUDING UNDERGROUND PIPES AND CABLES, AND THE PIPES AND HYDRANTS OF WATERING SYSTEMS. SHOULD SUCH OVERHEAD OR UNDERGROUND OBSTRUCTIONS BE ENCOUNTERED WHICH INTERFERE WITH PLANTING, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK. (SEE SECTION 3.01)

2. SHOULD ANY OBJECTIONABLE MATERIAL SUCH AS OLD CONCRETE, BRICKS OR OTHER DEBRIS BE ENCOUNTERED DURING PLANTING OPERATIONS, THEY SHALL BE REMOVED FROM THE SITE BY THE LANDSCAPE CONTRACTOR.

3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT GROWTH IN EXISTING ON-SITE SOILS. PRIOR TO COMMITMENT OF PLANT SHIPMENTS, THE LANDSCAPE CONTRACTOR SHALL EXAMINE THE SOILS IN ALL AREAS OF WORK BY CONDUCTING SOIL TESTS AND FILLING TEST HOLES WITH WATER TO DETERMINE IF SOIL CHEMISTRY AND DRAINAGE ARE SATISFACTORY. ANY UNSATISFACTORY CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT FOR POSSIBLE CORRECTIVE ACTION OR PLANT MATERIAL SUBSTITUTIONS. THE OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE CHANGES OR SUBSTITUTIONS IN PLANT TYPE OR QUANTITIES FOR THE PURPOSES OF INSURING PROPER PLANT GROWTH.

4. PRIOR TO WORK, LANDSCAPE CONTRACTOR SHALL BECOME FULLY FAMILIAR WITH THE SITE AND THE WORK OF ALL OTHER TRADES, INCLUDING HARDSCAPE AND GRADING, IN ORDER TO UNDERSTAND THE FULL EXTENT OF THE WORK.

1.05 QUALITY CONTROL

A. THE LANDSCAPE ARCHITECT / OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL THAT, IN HIS/HER OPINION, DO NOT MEET THE REQUIREMENTS OF THESE SPECIFICATIONS.

B. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.

C. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS.

D. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS.

1.06 QUANTITIES

A. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND PLANS, THE PLANS SHALL CONTROL.

PART 2 - PRODUCTS

2.01 MATERIALS

A. GENERAL:

1. NOMENCLATURE: ALL TREES, SHRUBS AND PLANTS SHALL BE TRUE TO NAME AS ESTABLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE PUBLICATION "STANDARD PLANTS NAMES", THE DESIGNATED AUTHORITY FOR THE IDENTIFICATION OF ALL MATERIAL SHALL BE THE TWO PUBLICATIONS OF L.H. BAILY, "HORTUS III" AND "MANUAL OF CULTIVATED PLANTS", AND ALL SPECIMENS SHALL BE TRUE TO TYPE, NAME, ETC., AS DESCRIBED THEREIN.

2. GRADE STANDARDS AND QUALITY: ALL PLANTS SHALL BE NURSERY GROWN, AND SHALL COMPLY WITH ALL REQUIRED INSPECTION, GRADING STANDARDS AND PLANT REGULATIONS AS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE, "GRADES AND STANDARDS FOR NURSERY PLANTS," PARTS 1 AND 2 INCLUDING REVISIONS.

a. THE MINIMUM GRADE FOR ALL TREES AND SHRUBS SHALL BE FLORIDA NO. 1 UNLESS OTHERWISE INDICATED AND ALL PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE.

3. MEASUREMENTS: THE MINIMUM ACCEPTABLE SIZE OF PLANTS, MEASURED AFTER PRUNING, WITH BRANCHES IN NORMAL POSITIONS, SHALL CONFORM TO THE SPECIFIED SIZES AS SHOWN ON THE PLANS. SIZES SPECIFIED ARE MINIMUM STANDARDS. PLANTS SHALL BE EQUAL TO OR LARGER THAN ALL CATEGORIES (HEIGHT, SPREAD, CALIPER) OF SIZE SPECIFICATION. SUBSTANTIAL DEVIATIONS FROM THESE MEASUREMENTS MUST BE APPROVED BY LANDSCAPE ARCHITECT. CALIPER OF TREE TRUNKS SHALL BE MEASURED ONE FOOT ABOVE ROOTBALL FOR TREES OVER 6 INCHES IN CALIPER, AND SHALL BE MEASURED 6 INCHES ABOVE THE ROOT BALL FOR TREES UNDER 6 INCHES IN CALIPER.

4. PLANT PROTECTION: PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE, BY BEING THOROUGHLY WATERED, KEPT MOIST, AND PROPERLY MAINTAINED UNTIL PLANTED.

B. PLANT MATERIALS: WITH REFERENCE TO METHOD OF CULTIVATION, ROOT SYSTEM STATUS, ETC., PLANTS FOR LANDSCAPING SHALL BE CLASSIFIED UNDER THE FOLLOWING DESIGNATIONS:

1. BALLED AND BURLAPPED: PLANTS SO CLASSIFIED SHALL BE DUG WITH FIRM NATURAL ROOT BALLS OF EARTH COMING FROM SINGULAR CLIMATIC AND SOIL CONDITIONS AS THOSE ON PROJECT SITE AND OF SUFFICIENT DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. THE ROOT BALL OF THESE PLANTS SHALL BE PROPERLY WRAPPED WITH BURLAP SACK MATERIAL AND REMAIN PROTECTED AND WET UNTIL THEY ARE PLANTED. THE PLANTS SHALL BE HANDLED ONLY BY THE EARTH BALL AND NOT BY THE PLANT ITSELF. ALL BALLED AND BURPED PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE SET ON THE GROUND AND SHALL BE WELL PROTECTED WITH SOIL, WET SOIL, WET MOSS, OR OTHER ACCEPTABLE MATERIAL. THE PLANTS SHALL BE SET WITH THE BURLAP COVER INTACT AND WITH THE BURLAP SHOWING, UNTIL INSPECTION. AT FINAL INSPECTION THE BURLAP MAY BE CUT AWAY TO GROUND LEVEL, AND THEN COMPLETELY COVERED WITH SOIL. BURLAP SHALL BE PURE BURLAP, ORGANIC FIBER WITH THE ABILITY TO DECOMPOSE.

2. CONTAINER GROWN PLANTS:

a. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN IN CONTAINERS LARGE ENOUGH AND FOR SUFFICIENT TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED WELL ENOUGH TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER. PLANTS THAT HAVE BECOME ROOT BOUND OR FOR WHICH THE TOP SYSTEM IS TOO LARGE FOR THE SIZE OF THE CONTAINER, WILL NOT BE ACCEPTABLE.

b. ALL CONTAINERS SHALL BE CUT AND OPENED FULLY, IN A MANNER SUCH AS WILL NOT DAMAGE THE ROOT SYSTEM. CONTAINER GROWN PLANTS SHALL NOT BE REMOVED FROM THE CONTAINER UNTIL IMMEDIATELY BEFORE PLANTING, WHEN ALL DUE CARE SHALL BE TAKEN TO PREVENT DAMAGE TO THE ROOT SYSTEM.

3. BARE ROOT PLANTS: NO BARE ROOT PLANTS SHALL BE USED, UNLESS SPECIFIED.

4. GROW BAG PLANTS: NO GROW-BAG PLANTS SHALL BE USED.

C. PLANTING MATERIALS:

1. TOPSOIL:

a. SOIL CHARACTERISTICS:

TOPSOIL SHALL BE FRIABLE SANDY LOAM, TYPICAL OF CULTIVATED TOPSOIL LOCALLY, CONTAINING AT LEAST 5 PERCENT OF DECAYED ORGANIC MATTER (HUMUS). IT SHALL OCCUR AS ON-SITE NATURAL TOPSOIL WITH GOOD CHARACTERISTICS OR BE TAKEN FROM A WELL DRAINED, ARABLE SITE. IT SHALL BE REASONABLY FREE OF WEEDS, SUBSOIL, STONES, CLODS, STICKS, ROOTS OR OTHER OBJECTIONABLE EXTRANEIOUS MATTER OR DEBRIS. IT SHALL NOT CONTAIN TOXIC MATERIALS AND SHALL HAVE ACIDITY RANGE OF PH 6.0 TO 7.0. TOPSOIL FROM NUT GRASS INFESTED AREAS WILL NOT BE ACCEPTABLE. CLAYEY SOIL FROM POND EXCAVATIONS WILL NOT BE ACCEPTABLE.

b. SOIL TESTING:

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLANT HEALTH AND SURVIVAL IN ON-SITE SOILS. SEVERAL WEEKS PRIOR TO SCHEDULED LANDSCAPE INSTALLATION, LANDSCAPE CONTRACTOR SHALL COLLECT SOIL SAMPLES FROM THE SITE FOR SOIL PH AND FERTILITY TESTING. ALLOW ENOUGH TIME FOR TESTING FACILITY TO PERFORM THEIR TESTS, GENERATE THEIR RESULTS AND RECOMMENDATIONS, AND ENOUGH TIME TO AMEND THE SOIL, IF NECESSARY, BASED ON THE RECOMMENDATIONS OF THE TESTING FACILITY. ALSO PRIOR TO LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL EVALUATE THE ON-SITE SOIL'S ABILITY TO DRAIN.

1.1. SOIL PH AND FERTILITY TESTING:

SOIL TESTING SHALL BE PERFORMED AND ANALYZED BY A STATE-REGISTERED TESTING FACILITY (THE UNIVERSITY OF FLORIDA'S INSTITUTE OF FOOD AND AGRICULTURAL SCIENCES (IFAS) PROVIDES THIS TESTING SERVICE FOR A NOMINAL FEE). THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE OWNER/L.A. FOR REVIEW. THE RECOMMENDATIONS FROM THE TESTING FACILITY FOR FERTILIZER AND SOIL AMENDMENTS SHALL TAKE PRECEDENCE OVER THE FERTILIZER RATES AND ANALYSES IN THIS SECTION. SOIL TESTING IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND SHALL BE PERFORMED PRIOR TO LANDSCAPE INSTALLATION.

1.2. SOIL DRAINAGE EVALUATION:

WELL-DRAINED SOILS ARE REQUIRED FOR NEW LANDSCAPES TO SURVIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EVALUATE THE ON-SITE SOILS TO DETERMINE THE ABILITY TO DRAIN PROPERLY. SOILS WITH TOO MUCH CLAY HOLD WATER AND CAUSE PROBLEMS FOR PLANT SURVIVAL. CONTRACTOR SHALL VISUALLY INSPECT THE SITE FOR SIGNS OF POORLY DRAINED SOILS (STANDING WATER, SURFACE CRACKING, HARD TO THE TOUCH, ETC.) AND DIG TEST HOLES. CONTRACTOR SHALL WRITE A REPORT DEMONSTRATING THEIR FINDINGS AND ALERT THE OWNER/L.A. IF ANY EVIDENCE OF POORLY-DRAINED SOILS ARE DISCOVERED.

c. DESIRED PARTICLE SIZE DISTRIBUTION IN TOP 6"-12" OF SOIL:

1.1. COARSE SAND (0.5-2mm)/MEDIUM SAND (0.25-0.5mm): MINIMUM OF 60% (BY WEIGHT) OF PARTICLES SHALL FALL WITHIN THIS RANGE (#60 SIEVE).  
1.2. FINE SAND (0.15-0.25mm): MAXIMUM OF 20% (BY WEIGHT) OF PARTICLES SHALL FALL WITHIN THIS RANGE (#100 SIEVE).  
1.3. VERY FINE SAND (0.075-0.15mm): MAXIMUM OF 5% (BY WEIGHT) OF PARTICLES SHALL FALL WITHIN THIS RANGE (#200 SIEVE).

1.4. SILT (0.037-0.075mm): MAXIMUM OF 5% (BY WEIGHT) OF PARTICLES SHALL FALL WITHIN THIS RANGE (#400 SIEVE).  
1.5. CLAY (LESS THAN 0.037mm): MAXIMUM 3% OF PARTICLES (BY WEIGHT) SHALL FALL WITHIN THIS RANGE (PAN).

d. INFILTRATION OR PERCOLATION RATE OF SOIL: DESIRED LEVEL IS 2" PER HOUR.

e. SOIL PREPARATION: PRIOR TO PLACING MIX AND BACKFILL, OR COMMENCING WITH PLANTING, ROTOTILL ANY OR ALL AREAS THAT HAVE BEEN PREVIOUSLY COMPACTED OVER 90 PERCENT FOR OTHER CONSTRUCTION PURPOSES.

2. FERTILIZER: FERTILIZER SHALL BE A COMPLETE BALANCED BLEND FORMULA, OF WHICH PART OF THE ELEMENTS SHALL BE DERIVED FROM ORGANIC SOURCES. IT SHALL CONTAIN NITROGEN, PHOSPHORUS AND POTASSIUM AS WELL AS RECOMMENDED MICRONUTRIENTS SUCH AS MAGNESIUM, IRON, COPPER, ZINC, BORON, AND MANGANESE IN SULFATE FORM. NITROGEN SHALL BE APPLIED OVER ALL TURF, SHRUB AND TREE AREAS AT A RATE OF 1 1/2 POUNDS PER 1,000 SQUARE FEET. THE COMPLETE FERTILIZER ANALYSIS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

3. MULCH: PINE STRAW MULCH SHALL BE CLEAN, BRIGHT AND FREE OF WEEDS, MOSS, STICKS AND OTHER DEBRIS.

4. WATER: SUITABLE WATER FOR THE IRRIGATION OF THE NEW PLANTINGS DURING THE PROGRESS OF CONSTRUCTION SHALL BE PROVIDED AND PAID FOR BY THE LANDSCAPE CONTRACTOR, WHO SHALL ALSO FURNISH ADEQUATE WATERING EQUIPMENT.

5. STAKES AND TIES: STAKES AND TREE TIES SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF PARAGRAPH 3.02.B HEREINAFTER.

PART 3 - EXECUTION

3.01 PREPARATION

A. UNDERGROUND OBSTRUCTIONS:

1. THE LANDSCAPE CONTRACTOR, PRIOR TO CONSTRUCTION, SHALL VERIFY ALL UTILITIES.

2. UPON REQUEST FROM THE LANDSCAPE CONTRACTOR, THE OWNER SHALL PROVIDE PLANS SHOWING LOCATIONS OF UNDERGROUND UTILITIES AND/OR WILL ASSIST THE LANDSCAPE CONTRACTOR IN SECURING UNDERGROUND LOCATIONS FROM OTHER PUBLIC UTILITY COMPANIES, SUCH AS TELEPHONE, ELECTRICITY, ETC.

3. IN THE EVENT THAT ROCK, UNDERGROUND CONSTRUCTION WORK, UTILITY LINES OR OBSTRUCTION OUT OF THE ORDINARY ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION; ALTERNATIVE LOCATIONS SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT. WHERE LOCATIONS CANNOT BE CHANGED AND THE OBSTRUCTIONS MAY BE REMOVED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN 3-FEET BELOW GRADE AND NO LESS THAN 6-INCHES BELOW BOTTOM OF BALLS OR ROOTS WHEN PLANT IS PROPERLY SET AT THE REQUIRED GRADE.

B. EXCAVATION OF PLANTING BEDS AND/OR PLANT HOLES:

1. WHERE EXCAVATION ENCOUNTERS MATERIAL WHICH ARE SUITABLE FOR PLANT GROWTH, THE PLANT HOLE EXCAVATIONS SHALL BE ROUGHLY CYLINDRICAL IN SHAPE, WITH THE SIDES APPROXIMATELY VERTICAL. PLANTS SHALL BE CENTERED IN THE HOLE, WITH THE TRUNK LOCATION AS SHOWN IN THE DRAWINGS. BOTTOMS OF THE HOLES SHALL BE UNDISTURBED NATURAL SUBGRADE PREVENTING THE TREE FROM SETTLING.

C. PROTECTION OF EXISTING TREES: THE LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING TREES FROM DAMAGE. WHERE DAMAGE DOES OCCUR, THE LANDSCAPE CONTRACTOR SHALL REMOVE THE DAMAGED TREE, THEN REPLACE IT IN KIND AND SIZE IN ACCORDANCE WITH THE INSTRUCTION OF THE LANDSCAPE ARCHITECT AND THE APPROPRIATE SPECIFICATIONS, ALL AT NO ADDITIONAL COST TO THE OWNER.

D. GRADES: IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS ELIMINATING ALL SURFACE IRREGULARITIES, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. NO PLANT MATERIAL SHALL BE PLANTED UNTIL FINAL GRADE HAS BEEN ESTABLISHED, ENSURING POSITIVE DRAINAGE, COMPACTED TO THE REQUIRED DEPTH, AND APPROVED BY THE LANDSCAPE ARCHITECT.

3.02 PLANTING

A. SETTING OF PLANTS:

1. WHEN LOWERING INTO THE HOLE, THE PLANT SHALL REST ON A PREPARED HOLE BOTTOM SUCH THAT THE ROOTS ARE LEVEL WITH, OR SLIGHTLY ABOVE, THE LEVEL OF THEIR PREVIOUS GROWTH AND SO ORIENTED SUCH AS TO PRESENT THE BEST APPEARANCE. THE LANDSCAPE CONTRACTOR, WHEN SETTING PLANTS IN HOLES, SHALL MAKE ALLOWANCES OF ANY ANTICIPATED SETTLING OF THE PLANTS. IF WET CONDITIONS ARE ANTICIPATED, PLANTS SHALL BE SET 2 INCHES TO 3 INCHES HIGHER THAN NORMAL.

2. THE BACKFILL SHALL BE MADE WITH NATIVE TOPSOIL, AND SHALL BE FIRMLY RODDED AND WATERED-IN, SO THAT NO AIR POCKETS REMAIN. THE QUANTITY OF WATER APPLIED IMMEDIATELY UPON PLANTING SHALL BE SUFFICIENT TO THOROUGHLY MOISTEN ALL OF THE BACKFILLED EARTH. PLANTS SHALL BE KEPT IN A MOISTENED, BUT NOT SATURATED, CONDITION FOR THE DURATION OF THE ESTABLISHMENT PERIOD.

B. STAKING AND GUYING: IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAINTAIN ALL PLANTS IN A PLUMB, UPRIGHT POSITION UNTIL THE END OF THE GUARANTEE PERIOD. STAKING SHALL BE THE OPTION OF THE LANDSCAPE CONTRACTOR, ALTHOUGH ALL DAMAGED PLANTS RESULTING FROM THE LACK OF PROPER STAKING AND GUYING SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO EXPENSE TO THE OWNER. ALL THREE GUY WIRES SHALL BE FLAGGED WITH YELLOW SAFETY RIBBON.

C. PRUNING:

1. ALL BROKEN OR DAMAGED ROOTS SHALL BE CUT OFF SMOOTHLY AND THE TOPS OF ALL TREES SHALL BE PRUNED IN A MANNER COMPLYING WITH STANDARD HORTICULTURAL PRACTICE. AT THE TIME PRUNING IS COMPLETED, ALL REMAINING WOOD SHALL BE ALIVE. ALL CUT SURFACES OF 1-INCH OR MORE IN DIAMETER, ABOVE THE GROUND, SHALL BE TREATED WITH AN APPROVED COMMERCIAL TREE PAINT. FINE PRUNING FOR TREE SHAPE AND APPEARANCE SHALL BE DONE ONLY UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.

2. AT THE END OF THE GUARANTEE PERIOD, AT LEAST 80 PERCENT OF THE WOOD REMAINING SHALL BE ALIVE.

D. MULCHING: WITHIN ONE WEEK AFTER THE PLANTING, MULCH MATERIAL SHALL BE UNIFORMLY APPLIED TO A MINIMUM LOOSE THICKNESS OF 2 1/2-INCHES OVER THE ENTIRE AREA OF THE BACKFILLED HOLE OR BED. THE MULCH SHALL BE MAINTAINED CONTINUOUSLY IN PLACE UNTIL THE TIME OF FINAL INSPECTION.

E. WATERING: THE LANDSCAPE CONTRACTOR SHALL CONTINUE WATERING FOR AS LONG AS IS NECESSARY TO PROPERLY ESTABLISH THE NEW PLANTINGS. CARE SHALL BE TAKEN TO PREVENT STAINING OF NEW CONSTRUCTION WHERE TEMPORARY WELL WATER IS USED.

F. PEST CONTROL: PRIOR TO FINAL ACCEPTANCE, OCCURRENCE OF SCALES, BORERS, FOLIAR FEEDERS, APHIDS, MITES, LEAF-SPOT AND DIEBACK, NEMATODES AND CANKER-PRODUCING FUNGI, SHALL BE TREATED WITH APPROPRIATE PESTICIDE.

G. ALL PLANTS SHALL RECEIVE THE SPECIFIED FERTILIZER PRIOR TO FINAL ACCEPTANCE

3.03 BERMING

A. FILL DIRT SHALL BE LOCALLY OBTAINED MATERIAL FROM NATURALLY DRAINED SOURCES, FREE FROM DRY, ORGANIC DEBRIS, STONES LARGER THAN 1-INCH DIAMETER AND OTHER MATERIALS HARMFUL TO SUCCESSFUL DRAINAGE AND PLANT GROWTH. SOIL SHALL BE WELL MIXED AND CONTAIN NO MORE THAN 25 PERCENT MUCK.

B. GRADE AREAS INDICATED WITH UNIFORM LEVELS OR SLOPES WITH NO MORE THAN 4:1 MAXIMUM SLOPE. BERMS SHALL BE GENTLY ROLLING AND PARABOLIC.

C. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED, RUTTED, OR OTHERWISE DAMAGED AREAS.

3.04 SODDING

A. THE SOD SHALL BE OF FIRM, TOUGH TEXTURE HAVING A COMPACT GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO BERMUDA GRASS, WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION. THE SOIL EMBEDDED IN THE SOD SHALL BE GOOD CLEAN EARTH, FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, VERMIN AND OTHER DISEASES. FINAL TURF SHALL HAVE NO AREA GREATER THAN 6 SQUARE INCHES OF UNSODDED AREA.

B. SOLID SOD SHALL BE LAID WITH CLOSELY ABUTTING JOINTS WITH A ROLLED EVEN SURFACE. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING THE SOD EDGE IN A NEAT, CLEAN MANNER TO THE EDGE OF ALL PAVING AND SHRUB AREAS. AFTER THE SOD IS LAID, A TOP DRESSING OF CLEAN SAND WILL BE EVENLY APPLIED OVER THE ENTIRE SURFACE AND THOROUGHLY WASHED IN, IF DETERMINED NECESSARY. PEG SOD ON SLOPES AS REQUIRED TO PREVENT SLIPPAGE. FERTILIZE ALL SOD: 1 POUND NITROGEN PER 1,000 SQUARE FEET.

3.05 FIELD QUALITY CONTROL

A. MAINTENANCE PRIOR TO FINAL ACCEPTANCE:

1. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED AND OTHERWISE MAINTAINED AND PROTECTED FOR THE PERIOD OF TIME STATED ABOVE. SOD SHALL BE MOWED, IF REQUIRED.

2. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. GUYS SHALL BE TIGHTENED AND REPAIRED.

3. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT. UPON COMPLETION OF PLANTING, THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE EXCESS SOIL AND DEBRIS, AND REPAIR ANY DAMAGE TO STRUCTURES, ETC., RESULTING FROM PLANTING OPERATIONS.

4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROTECTION AGAINST MECHANICAL DAMAGE. THIS SHALL INCLUDE PROVIDING PROTECTION FROM VEHICLES, INCLUDING THE POSTING OF APPROVED WARNING SIGNS AND BARRICADES, AS NEEDED. THE LANDSCAPE CONTRACTOR SHALL REPAIR, RESTORE OR REPLACE ANY PLANTS OR PLANTING AREAS WHICH MIGHT BECOME DAMAGED AS A RESULT OF ANY NEGLIGENCE BY THE LANDSCAPE CONTRACTOR IN COMPLYING WITH THESE REQUIREMENTS. AS A SPECIFIC REQUIREMENT OF THESE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT ALL PLANTS AT THE TIME OF FINAL ACCEPTANCE, EXHIBIT THE CHARACTERISTICS AND QUALIFICATIONS REQUIRED FOR THE GRADE OF PLANT AS ORIGINALLY SPECIFIED.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL WATERING REQUIRED IF IRRIGATION PROVES TO BE INADEQUATE FOR FRESHLY PLANTED MATERIAL.

6. EXCEPT AS OTHERWISE SPECIFIED, THE LANDSCAPE CONTRACTOR'S WORK SHALL CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE.

B. FINAL ACCEPTANCE:

1. UPON COMPLETION OF ALL WORK, INCLUDING MAINTENANCE, THE LANDSCAPE CONTRACTOR SHALL ARRANGE FOR A FINAL REVIEW. THE LANDSCAPE WORK MAY BE REVIEWED FOR ACCEPTANCE IN PARTS, PROVIDED THE WORK COMPRISES OF ONE FULL UNIT OR AREA OF SUBSTANTIAL SIZE.

2. DATE OF FINAL ACCEPTANCE SHALL MARK THE BEGINNING OF THE GUARANTEE PERIOD.

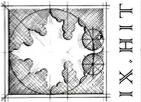
C. GUARANTEE REVIEW: AT THE END OF THE GUARANTEE PERIOD, REVIEW OF PLANTS WILL BE MADE BY THE LANDSCAPE ARCHITECT UPON WRITTEN NOTICE REQUESTING SUCH REVIEW, SUBMITTED BY THE LANDSCAPE CONTRACTOR AT LEAST TEN DAYS BEFORE THE ANTICIPATED WALK-THRU. ALL DEFECTS DISCOVERED SHALL BE REPAIRED OR REPLACED BY THE LANDSCAPE CONTRACTOR.

3.06 ADJUSTMENT AND CLEANING

A. CLEANING UP THE SITE: UPON COMPLETION OF ANY LANDSCAPE PROJECT, THE LANDSCAPE CONTRACTOR MUST THOROUGHLY CLEAN UP THE PROJECT SITE. IN ADDITION TO REMOVING ALL EQUIPMENT, UNUSED MATERIALS, DELETERIOUS MATERIAL, AND SURPLUS EXCAVATED MATERIAL, THE LANDSCAPE CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS AND THE AREAS ADJACENT TO THE NEW PLANTINGS TO PROVIDE A NEAT AND UNIFORM SITE. ALL DAMAGED OR ALTERED EXISTING STRUCTURES, AS A RESULT OF THE LANDSCAPE WORK, SHALL BE CORRECTED.

Table with revision history: Date, Drawn by, Reviewed by, Job Number, Revision, Date.

MAITLAND STATION Maitland, Florida EPOCH PROPERTIES 359 Carolina Avenue, Winter Park, Florida 32789



DIX, HITE & PARTNERS 150 W. JESSUP AVENUE LOVELL 407.687.1779 FAX 407.687.1779

CODE LANDSCAPE PLANS Specifications

Sheet Number: L4.00